



3

Planning Commission Study Session

TO: PLANNING COMMISSION

FROM: ASHLEE MACDONALD, AICP, SENIOR PLANNER *AM*
(480) 503-6748, ASHLEE.MACDONALD@GILBERTAZ.GOV

THROUGH: CATHERINE LORBEER, AICP, PRINCIPAL PLANNER *ajl*
(480) 503-6016, CATHERINE.LORBEER@GILBERTAZ.GOV

MEETING DATE: JUNE 6, 2018

SUBJECT: GP18-06, Z18-09, AND S18-02: TERRAZA – AV HOMES

STRATEGIC INITIATIVE: Community Livability

This project would allow for residential development within a pending annexation and undeveloped property.

REQUEST

GP18-06 Terraza: Request for Minor General Plan Amendment to change the land use classification of approximately 18.9 acres of real property generally located at the southwest corner of Recker and Ocotillo Roads from Residential > 0-1 DU/Acre land use classification to Residential > 1-2 DU/Acre land use classification.

Z18-09 Terraza: Request to rezone approximately 23 acres of real property generally located at the southwest corner of Recker and Ocotillo Roads from Maricopa County Rural – 43 (RU-43) zoning district to 21.3 acres of Town of Gilbert Single Family – 10 (SF-10) and 1.7 acres of Public Facilities/Institutional (PF/I) zoning districts, all with a Planned Area Development (PAD) overlay to modify minimum lot dimensions and establish a plan of development.

S18-02 Terraza: Request to approve Preliminary Plat and Open Space Plan for AV Homes, for 29 home lots (Lots 1-29) on approximately 21.3 acres of real property located at the southeast

corner of Recker and Ocotillo Roads in the Single Family - 10 (SF-10) zoning district with a Planned Area Development (PAD) overlay.

RECOMMENDED MOTION

- A. No motion requested,
- B. No motion requested, and
- C. No motion requested.

APPLICANT/OWNER

Company: Burch and Cracchiolo PA
Name: Brennan Ray
Address: 702 E. Osborn Rd. #200
Phoenix, AZ 85014
Phone: 602-234-8794
Email: bray@bcattorneys.com

Company: AV Homes Inc
Name: Brian Kinderik
Address: 1225 W. Washington St. Ste 313
Tempe, AZ 85281
Phone: 480-822-6682
Email: b.konderik@avhomesinc.com

BACKGROUND/DISCUSSION

Overview

The subject site is currently a pending annexation and an undeveloped combination of parcels totaling approximately 23 acres located at the southeast corner of Recker and Ocotillo Roads. The applicant is requesting a minor General Plan amendment on the 18.9 acre portion of the subject site that is designated Residential > 0-1 DU/Acre to Residential >1-2 DU/Acre as well as a rezone from Maricopa County Rural – 43 to Town of Gilbert Single Family – 10 (SF-10) and Public Facilities/Institutional (PF/I) zoning districts, all with a Planned Area Development (PAD) overlay. The density of the proposed residential development is 1.4 DU/Acre.

Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning	Existing Use
North	Residential >3.5-5 DU/Acre	Single Family – Detached	Ocotillo Road then Single-Family Residential
South	Residential > 0-1 DU/Acre	Maricopa County Rural – 43	Residential
East	Town Queen Creek - Rural	Town of Queen Creek – R1-18	Recker Road then Town of Queen Creek Residential
West	Residential > 0-1 DU/Acre	Maricopa County Rural – 43	Residential
Site	Residential > 0-1 DU/Acre	Maricopa County Rural – 43	Vacant

General Plan

The existing General Plan designation is Residential > 0-1 DU/Acre. The applicant has proposed a General Plan amendment to Residential >1-2 DU/Acre in order to develop the Terraza subdivision with a proposed density of 1.4 DU/Acre. The proposed General Plan amendment complies with the following General Plan policies:

- **Land Use and Growth Areas, Policy 1.2**—Create neighborhoods with an identity that complement the Town’s heritage and connect to the broader community.
 - The proposed development connects to the broader community through the design of the landscaping, entry features, amenities, and theme walls and proposes oversized lots to connect to the surrounding large lot development pattern in the immediate area.
- **Land Use and Growth Areas, Policy 1.3**—Encourage residential development that allows for a diversity of housing types for all age groups and is accessible to a range of income levels.
 - Allowing the site to be developed with two different lot sizes will provide additional and diverse housing product within the immediate area. The housing product will complement the other homes within the surrounding area.
- **Community Design, Policy 2.5**—Maintain an open feel in new developments by strategically placing open space for visual relief, active uses, buffering, and entry accents.
 - The main amenity area has been centrally located, providing a sense of arrival to future residents and guests. The landscaped open space areas will allow for active and passive opportunities.

The site is also located within the Santan Character Area of the General Plan and meets many of the goals and policies of the Santan Character Area as follows:

- **SCA 1.3**—Encourage the development of unique, low-density projects mixed with open space.
 - The proposed development offers oversized lots mixed with open space that will result in a density between 1-2 dwelling units per acre.
- **SCA 1.6**—Encourage a variety of walls, including view walls, landscaping, and agricultural themed fencing, where appropriate.
 - The project is designed to create its own identity and complement the rural-agrarian heritage of the surrounding area using landscaping, entry features, and theme walls that are presented as part of the Preliminary Plat. The design plans create an aesthetically pleasing streetscape for residents and passers-by.

Rezoning

The applicant is requesting a rezone from Maricopa County Rural – 43 to Town of Gilbert Single Family – 10 (SF-10) with a Planned Area Development (PAD) overlay on 21.3 acres. In conjunction with this request the applicant is processing an annexation application to take in an unincorporated portion of Ocotillo Road. For consistency with the General Plan and adjacent land uses, the applicant is also rezoning approximately 1.7 acres of land from Maricopa County Rural - 43 to Town of Gilbert Public Facilities/Institutional (PF/I).

The applicant has proposed a PAD in conjunction with the rezone request to establish a development plan that provides the location of the entrance to line up with the entrance for the neighborhood to the east, identifies the location of the 85’x130’ and 110’x135’ lots and increases the minimum lot area from 10,000 to 12,250 and 16,250 square feet. In addition, the applicant has proposed that all homes within this 29 lot subdivision will be limited to one-story. Finally, the applicant has requested that the front setback be reduced from 25’ to 20’ for side entry

garages, livable areas of units with detached garages and dwelling units with front facing garages that are recessed 20' or more from the front plane of the livable area. The development plan also includes a 30' tract at the north end of the project out to Ocotillo Road to serve the 12' water and sewer easements. Staff has asked the applicant to include view fencing on the adjacent lots. This was not included in the applicants 2nd submittal, so staff is seeking Commission feedback on this.

Project Data Table

Site Development Regulations	Required per LDC	Proposed
Minimum Lot Area	10,000sf	12,250sf and 16,250sf
Minimum Lot Dimensions	85'x110'	85'x130' – lots 1-8, 12-19, 26-29 110'x135' – lots 9-11, 20-25
Maximum Building Height (ft)/stories	30/2	30/ 1
Minimum Building Setback		
Front	25	25/ 20*
Side	10	10
Rear	30	30
Maximum Lot Coverage (%)		
One story	45	45

*20ft front setback for side entry garages, livable areas of dwelling units with detached garages; or dwelling units with front-facing garages that are recessed 20ft or more from the front plane of the livable area.

Preliminary Plat

The subject site is accessed via Recker Road and is proposed as a gated community with private streets. The project is planned to develop as a single phase with a total of 29 lots. The largest of these lots (16,250sf) are located on the southern and western portions of the property to provide a transition from the larger lots adjacent. The subdivision design is in substantial conformance with the zoning Development Plan.

The site is comprised of approximately 20% open space and includes a centralized open space area. This area includes a 20'x20' play structure and playground equipment in addition to large turf areas to serve as active recreation area. Terraza features stucco walls with brick cap accents. The entry accent wall includes black steel inserts with black steel vehicular gates.

PUBLIC NOTIFICATION AND INPUT

Neighborhood meetings were held on December 19, 2017 and on March 19, 2018 at Auxier Elementary School. Approximately 5 residents attended the meeting. The residents asked questions regarding street improvements and increased traffic along Recker Road. Developer responded they will be responsible for a portion of the improvements along Recker Road.

PROPOSITION 207

An agreement to “Waive Claims for Diminution in Value” pursuant to A.R.S. § 12-1134 was signed by the landowners of the subject site, in conformance with Section 5.201 of the Town of Gilbert Land Development Code. This waiver is located in the case file.

STAFF RECOMMENDATION

Staff requests Planning Commission input.

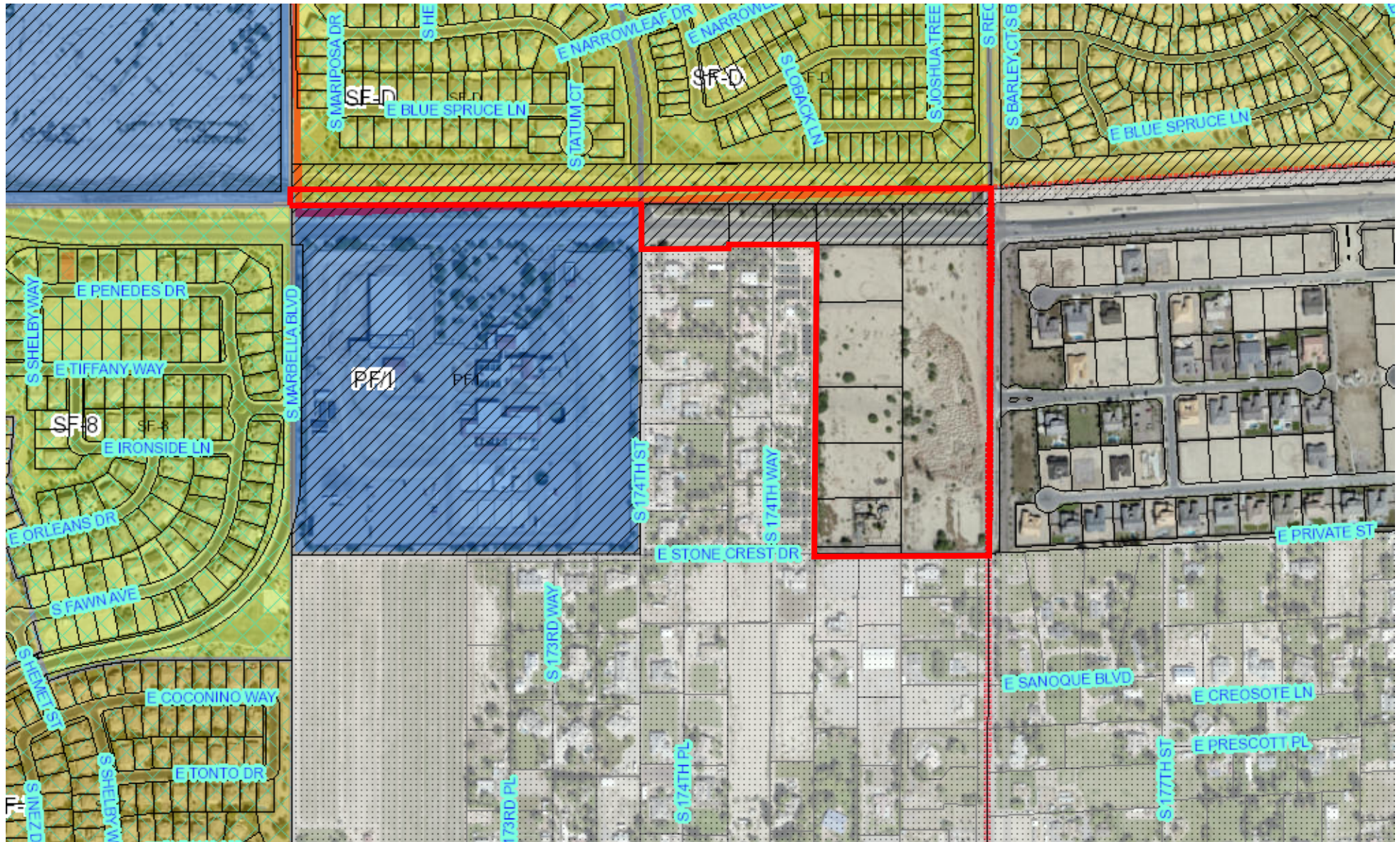
Respectfully submitted,

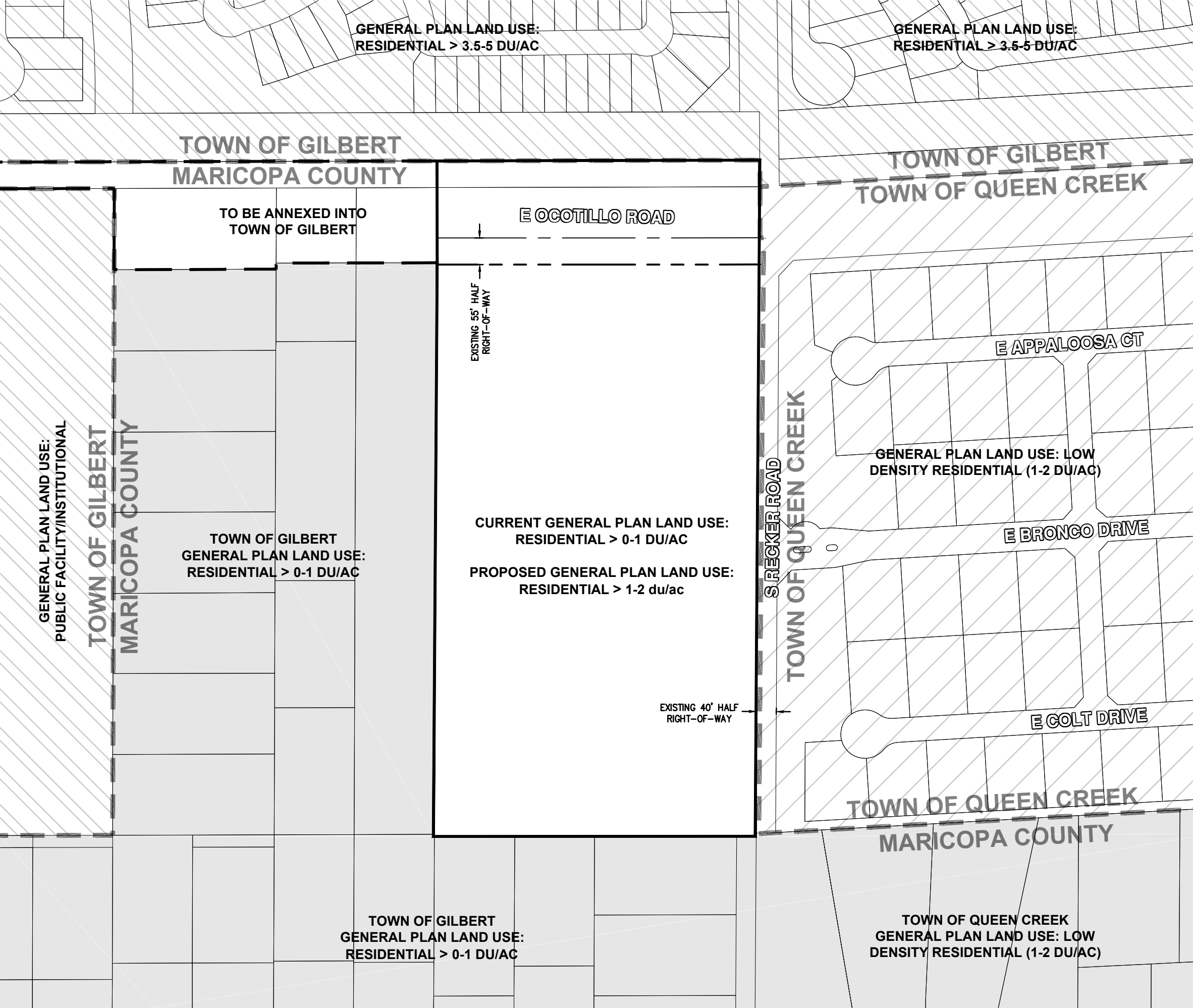


Ashlee MacDonald, AICP
Senior Planner

Attachments and Enclosures:

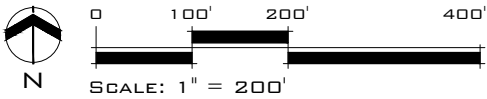
- 1) Aerial Photo
- 2) Land Use Exhibit
- 3) Zoning Exhibit
- 4) Development Plan
- 5) Preliminary Plat
- 6) Open Space Plan



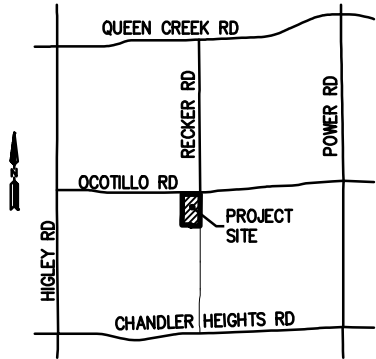


GP18-06/Z18-09/S18-02
Attachment 2: Land Use Exhibit
June 6, 2018

TERRAZA
GILBERT, ARIZONA
GENERAL PLAN EXHIBIT



VICINITY MAP:

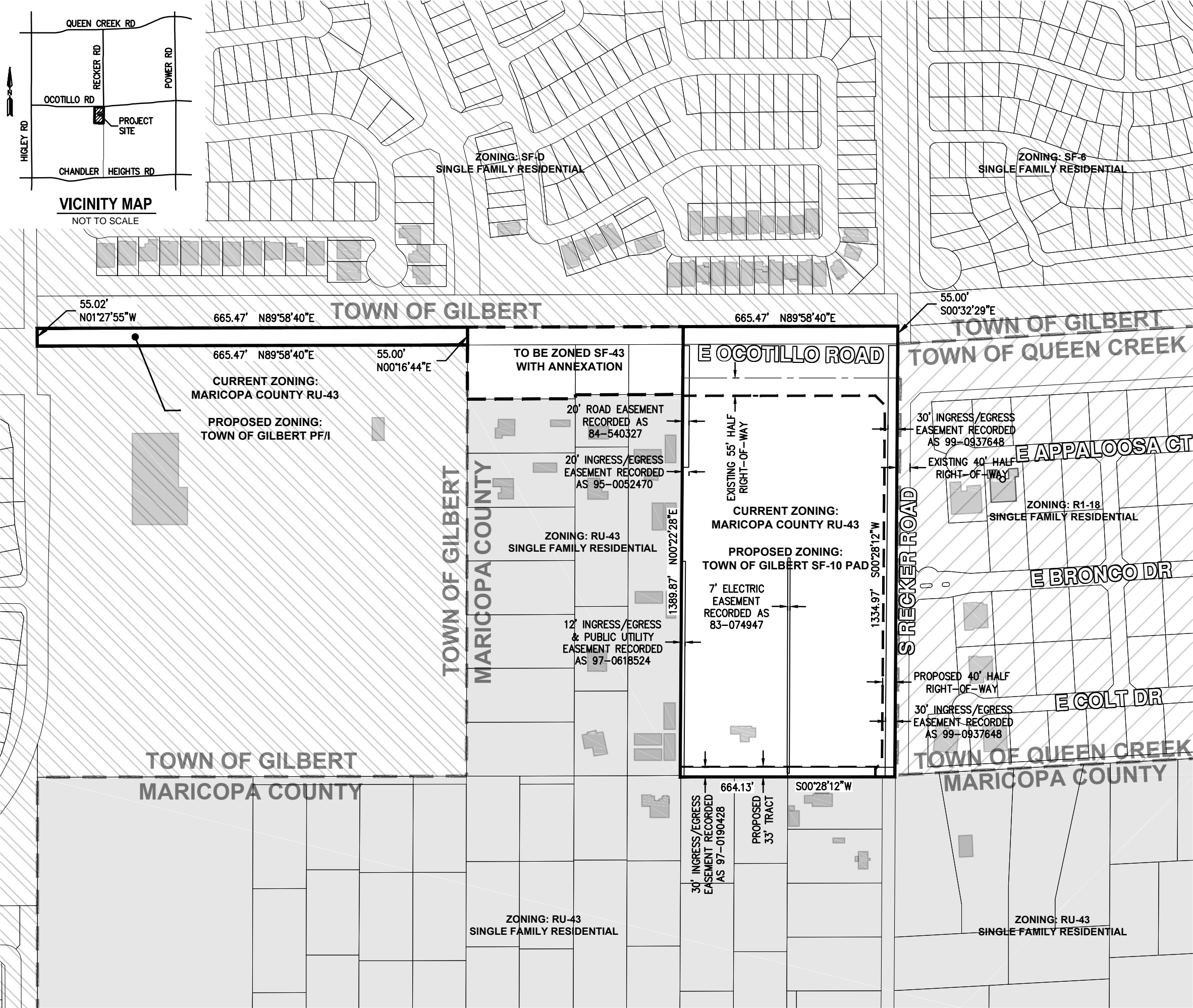


LEGEND:

- GPA Boundary (Gross)
- Maricopa County Area
- Town of Gilbert Area
- Town of Queen Creek Area

SITE DATA:

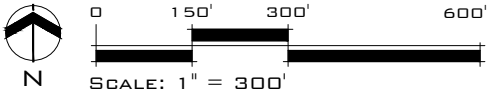
Gross Acres: 21.3 Acres
Net Acres: 16.5 Acres
Current General Plan Land Use: Residential > 0-1 du/ac
Proposed General Plan Land Use: Residential > 1-2 du/ac



GP18-06/Z18-09/S18-02
Attachment 2: Land Use Exhibit
June 6, 2018

TERRAZA
GILBERT, ARIZONA

ZONING EXHIBIT



LEGEND:

- PAD Boundary (Gross)
- Proposed Right-of -Way
- Maricopa County Area
- Town of Gilbert Area
- Town of Queen Creek Area

PROJECT TEAM:

DEVELOPER
AV HOMES
1225 W Washington St.
Suite 313
Tempe, Arizona 85281
Phone: (480) 822-6682
Contact: Brian Konderik

ENGINEER/PLANNER
HILGARTWILSON, LLC
2141 E Highland Ave.
Suite 250
Phoenix, Arizona 85016
Phone: (602) 490-0535
Contact: Toni Bonar, AICP

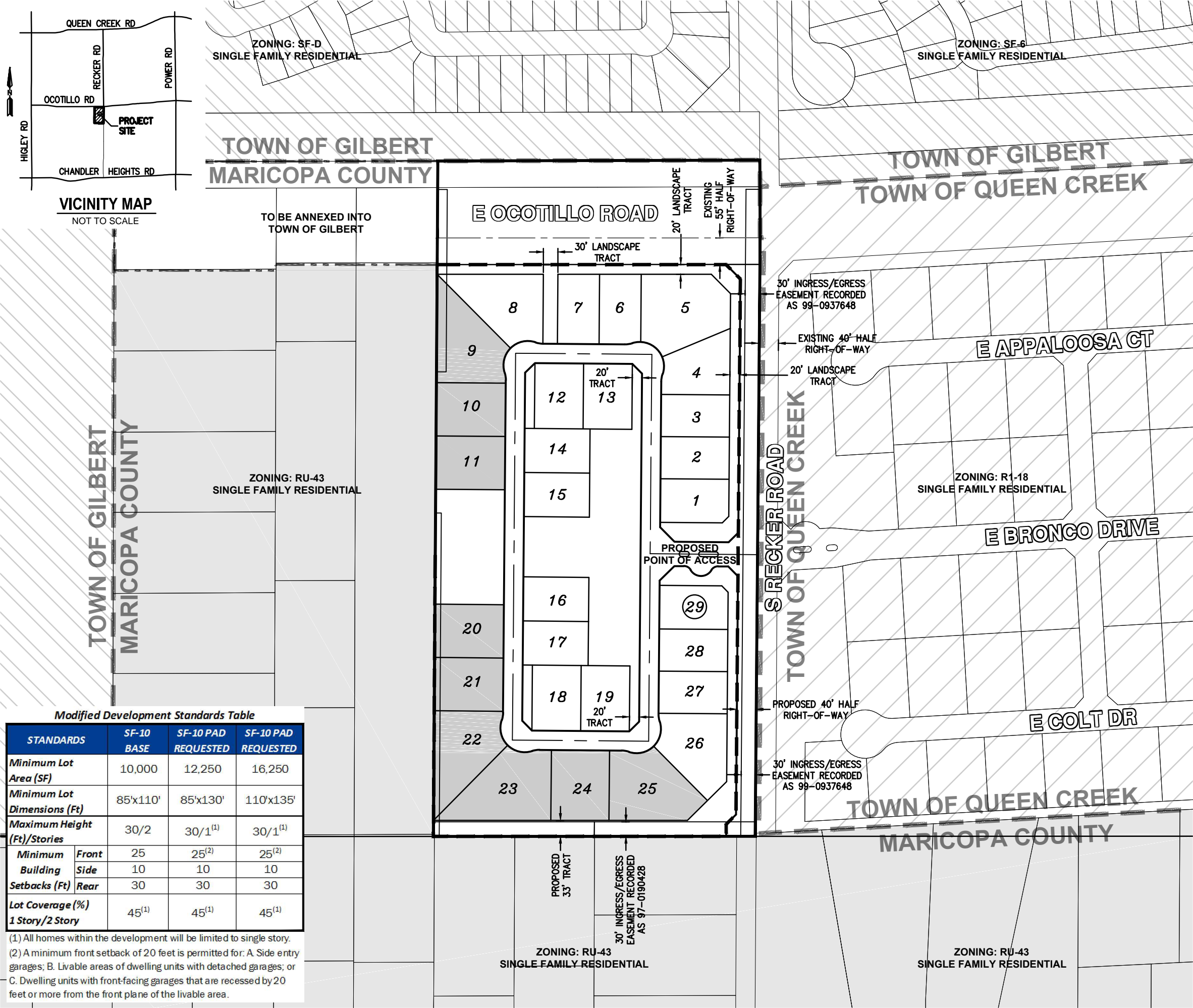
SITE DATA:

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304-69-079B; 304-69-079C; 304-69-080B;
304-69-080C; 304-69-080D;
Current General Plan: Res > 0-1 du/ac & PF/I
Proposed General Plan: Res > 1-2 du/ac & PF/I (No Change)
Current Zoning: Maricopa County RU-43
Proposed Zoning: Town of Gilbert SF-10 PAD & PF/I
Gross Area: ±21.3 Acres & ±1.7 Acres
Net Area: ±16.5 Acres



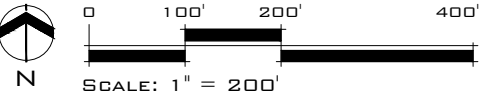
HILGARTWILSON
ENGINEER | PLAN | SURVEY | MANAGE
2141 E. HIGHLAND AVE., STE. 250
PHOENIX, AZ 85016
P: 602.490.0535
F: 602.368.2436

PROJECT MANAGER:
T. BONAR, AICP
PROJECT NUMBER: 1873
MAY 2018



GP18-06/Z18-09/S18-02
Attachment 4: Development Plan
June 6, 2018

TERRAZA
GILBERT, ARIZONA
DEVELOPMENT PLAN EXHIBIT



- LEGEND:**
- PAD Boundary (Gross)
 - Net Area
 - Maricopa County Area
 - Town of Gilbert Area
 - Town of Queen Creek Area
 - Lots (85' Wide)
 - Lots (110' Wide)

PROJECT TEAM:

DEVELOPER AV HOMES 1225 W Washington St. Suite 313 Tempe, Arizona 85281 Phone: (480) 822-6682 Contact: Brian Konderik	ENGINEER/PLANNER HILGARTWILSON, LLC 2141 E Highland Ave. Suite 250 Phoenix, Arizona 85016 Phone: (602) 490-0535 Contact: Toni Bonar, AICP
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SITE DATA:

Current Zoning: Maricopa County RU-43
Proposed Zoning: Town of Gilbert SF-10 PAD
Gross Area: ±21.3 Acres
Net Area: ±16.9 Acres
Number of Lots: 29
Gross Density: 1.4 du/ac

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PROJECT MANAGER:
T. BONAR, AICP
PROJECT NUMBER: 1873
MAY 2018

LEGAL DESCRIPTION

A PORTION OF THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 2 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND 3 INCH TOWN OF GILBERT BRASS CAP IN HAND HOLE ACCEPTED AS THE NORTHEAST CORNER OF SAID SECTION 23 FROM WHICH A FOUND 2 INCH MARICOPA COUNTY ALUMINUM CAP ACCEPTED AS THE NORTH QUARTER CORNER THEREOF BEARS SOUTH 89°58'40" WEST, 2665.41 FEET;

THENCE SOUTH 00°28'12" WEST, 100.00 FEET ALONG THE EAST LINE OF SAID NORTHEAST QUARTER TO THE POINT OF BEGINING;

THENCE CONTINUING ALONG SAID EAST LINE, SOUTH 00°28'12" WEST, 1234.96 FEET;

THENCE LEAVING SAID EAST LINE, SOUTH 89°59'05" WEST, 664.13 FEET ALONG THE SOUTH LINE OF THE NORTH HALF OF SAID NORTHEAST QUARTER;

THENCE LEAVING SAID SOUTH LINE, NORTH 00°22'28" EAST, 1234.86 FEET ALONG THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 23;

THENCE LEAVING SAID WEST LINE, NORTH 89°58'40" EAST, 666.18 FEET, ALONG A LINE 100.00 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID NORTHEAST QUARTER TO THE POINT OF BEGINNING.

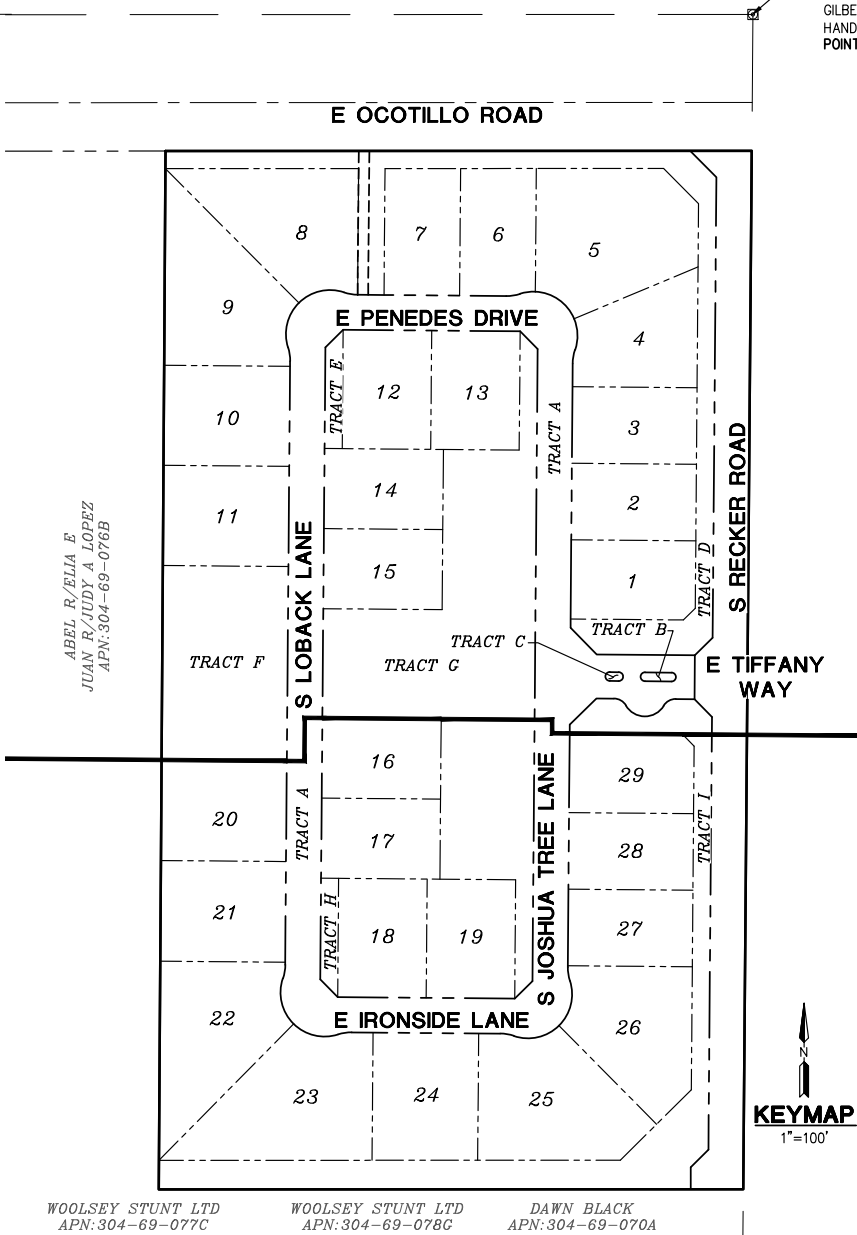
THE ABOVE DESCRIBED PARCEL CONTAINS A COMPUTED AREA OF 821,384 SQ. FT. (18.8564 ACRES) MORE OR LESS AND BEING SUBJECT TO ANY EASEMENTS, RESTRICTIONS, RIGHTS-OF-WAY OF RECORD OR OTHERWISE.

THE DESCRIPTION SHOWN HEREON IS NOT TO BE USED TO VIOLATE ANY SUBDIVISION REGULATION OF THE STATE, COUNTY AND/OR MUNICIPALITY OR ANY LAND DIVISION RESTRICTIONS.

NORTH QUARTER CORNER SECTION 23, T.2., R.6E., FOUND 2" MARICOPA COUNTY ALUMINUM CAP, DOWN 4" STAMPED T2S, R6E, 1/4, S14/23, 2001, RLS 15573

A PORTION OF THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 2 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

NORTHEAST CORNER SECTION 23, T.2S., R.6E., FOUND 3" TOWN OF GILBERT BRASS CAP IN HAND HOLE, DOWN 6" POINT OF COMMENCEMENT



WOOLSEY STUNT LTD
APN: 304-69-077C

WOOLSEY STUNT LTD
APN: 304-69-078C

DAWN BLACK
APN: 304-69-070A

EAST QUARTER CORNER SECTION 23, T.2S., R.6E., FOUND 2" MARICOPA COUNTY ALUMINUM CAP, DOWN 3", STAMPED T2S, R6E, 1/4, S23/24, 2001, RLS 15573

SITE DATA TABLE

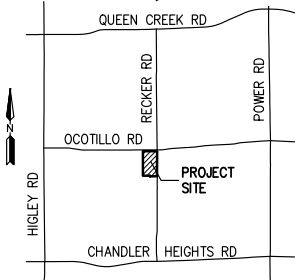
GENERAL PLAN CLASSIFICATION	EXISTING ZONING DISTRICT	PROPOSED ZONING DISTRICT	MINIMUM LOT SIZE (1)	FRONT SETBACK (FT) (2)	SIDE SETBACK (FT)	REAR SETBACK (FT)	LOT COVERAGE	GROSS AREA (AC)	NET AREA (AC)	UNIT COUNT	GROSS DENSITY	OPEN SPACE (AC)	OPEN SPACE (%)
RESIDENTIAL >1-2 DU/AC	RU-43	SF-10 PAD	85'X130' 110'X135'	25 / 20	10	30	45%	18.1	16.53	29	1.61	3.83	21.1%

- (1) 85'X130' APPLIES TO LOTS 1-8, 12-19, AND 26-29. 110'X135' APPLIES TO LOTS 9-11 AND 20-25.
- (2) A 20' SETBACK IS PERMITTED FOR: SIDE ENTRY GARAGES, LIVABLE AREAS OF DWELLING UNITS WITH DETACH GARAGES, OR DWELLING UNITS WITH FRONT-FACING GARAGES THAT ARE RECESSED BY 20 FEET OF MORE FROM THE FRONT PLANE OF THE LIVABLE AREA.

GP18-06/Z18-09/S18-02

Attachment 5: Preliminary Plat

June 6, 2018



VICINITY MAP
NOT TO SCALE

ENGINEER

HILGARTWILSON
2141 E. HIGHLAND AVENUE, STE 250
PHOENIX, ARIZONA 85016
PHONE: (602) 490-0535
FAX: (602) 368-2436
CONTACT: ZACH HILGART, PE

OWNER

GERMANN & CORONADO, LLC
7317 E. GREENWAY ROAD
SCOTTSDALE, ARIZONA 85260
PHONE: (602) 432-1932
CONTACT: BILL HAWKINS

BENCHMARK

FOUND MARICOPA COUNTY ALUMINUM CAP AT THE NORTH QUARTER CONNER OF SECTION 22, TOWNSHIP 2 SOUTH, RANGE 6 EAST.
ELEVATION: 1324.749'
DATUM: NAVD88

BASIS OF BEARING

BASIS OF BEARING IS S89°59'11"W ALONG THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 23, TOWNSHIP 2 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, BETWEEN THE MONUMENTS AS SHOWN HEREON.

SITE DATA

- MINIMUM LOT SIZE⁽¹⁾: 85' X 130'
MINIMUM LOT SIZE⁽²⁾: 110' X 135'
MINIMUM LOT AREA⁽¹⁾: 12,250 SF
MINIMUM LOT AREA⁽²⁾: 16,250 SF
GROSS AREA: 18.01 AC
NET AREA: 16.53 AC
NUMBER OF LOTS: 29
GROSS DENSITY⁽³⁾: 1.61 DU/AC
PRIVATE STREETS: 40' WIDE
OPEN SPACE PROVIDED: 3.83 AC (21.1%)
OPEN SPACE REQUIRED: 1.80 AC (10.00%)
CURRENT ZONING⁽⁴⁾: RU-43
PROPOSED ZONING: SF-10 PAD
- (1) APPLIES TO LOTS 1-8, 12-19, AND 26-29.
(2) APPLIES TO LOTS 9-11 AND 20-25.
(3) >0-1 DU/AC ALLOWED PER GENERAL PLAN. GENERAL PLAN AMENDMENT BEING PROCESSED TO CHANGE DESIGNATION TO >1-2 DU/AC.
(4) ANNEXATION INTO THE TOWN OF GILBERT IS BEING CONCURRENTLY PROCESSED.

UTILITIES

WATER
SEWER
ELEC.
GAS
TELEPHONE
CABLE TV
POLICE
FIRE

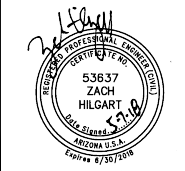
TOWN OF GILBERT
TOWN OF GILBERT
SALT RIVER PROJECT
SOUTHWEST GAS
QUEST COMMUNICATIONS
COX
TOWN OF GILBERT
TOWN OF GILBERT

SHEET INDEX

- CV01 COVER SHEET
CV02 DETAILS & TABLES
DT01 SETBACK DETAILS
PP01-PP02 PRELIMINARY PLAT PLAN
PP03-PP04 PRELIMINARY GRADING PLAN

REV.:

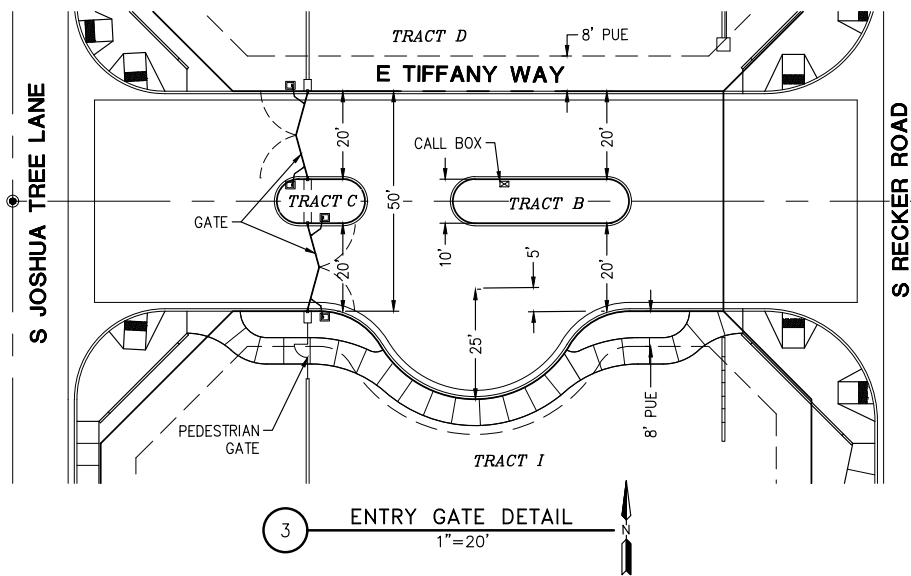
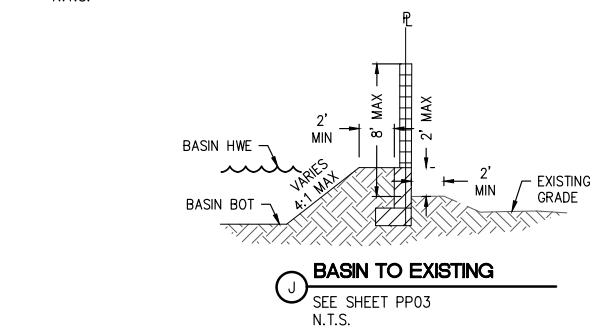
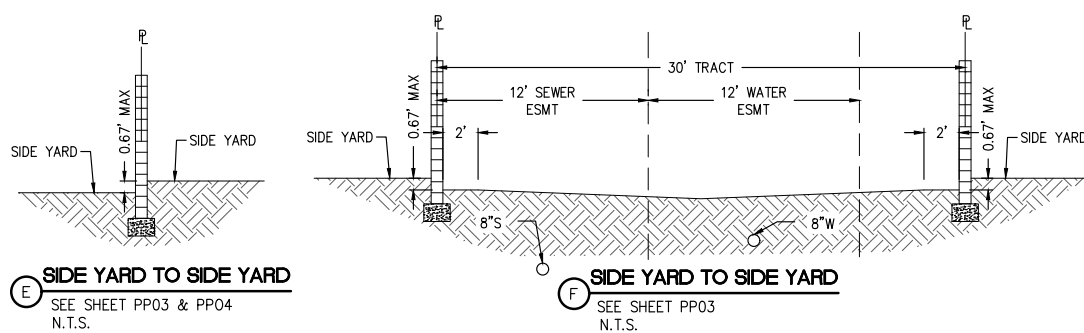
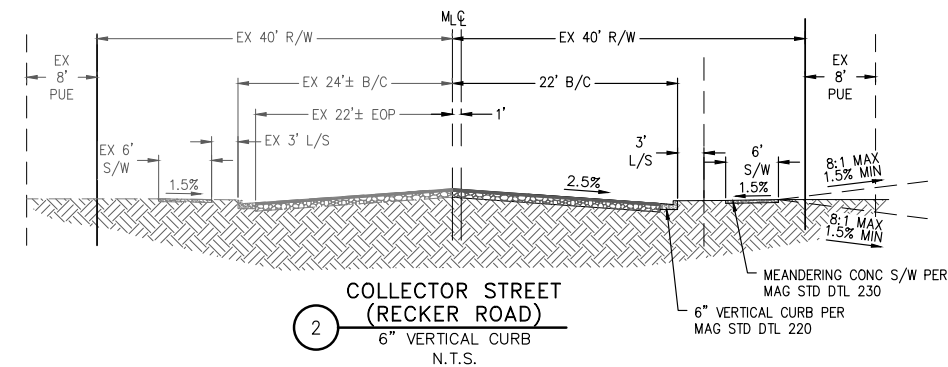
HILGARTWILSON
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P: 602.490.0535 / F: 602.368.2436
www.hilgartwilson.com



TERRAZA
RECKER ROAD & OCOTILLO ROAD
GILBERT, ARIZONA

PRELIMINARY PLAT

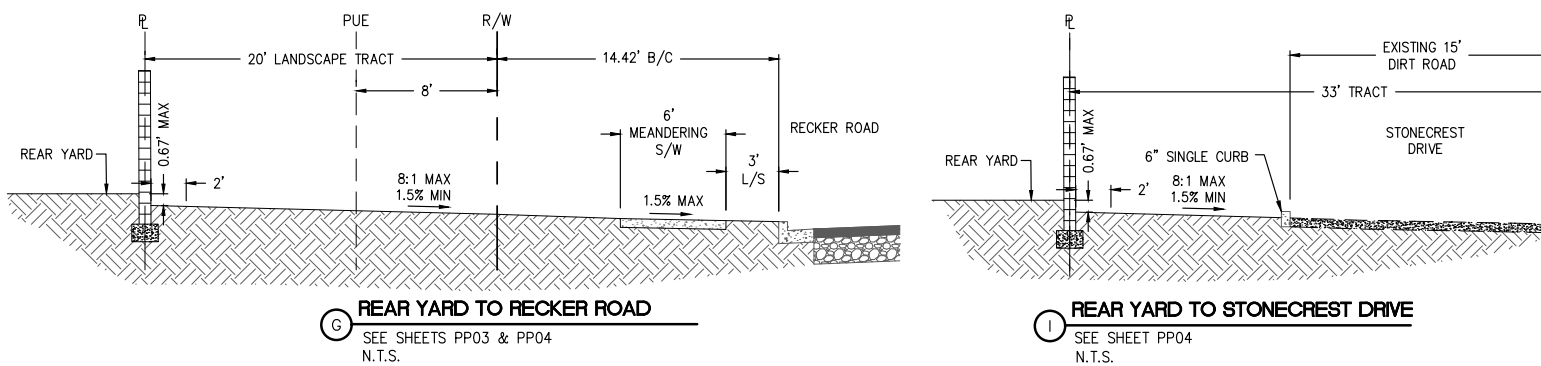
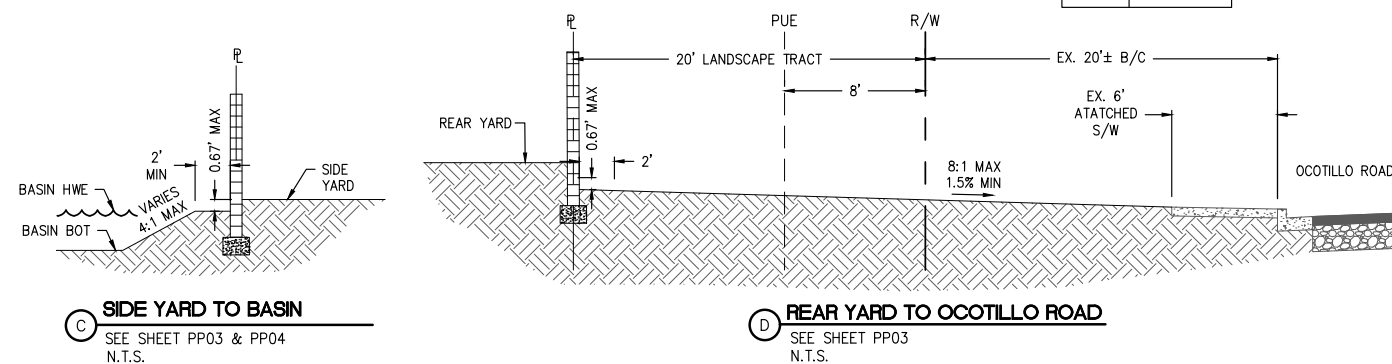
HILGARTWILSON
PROJ NO.: 1873
DATE: MAY 2018
SCALE: N.T.S.
DRAWN: KW/RH
DESIGNED: TRB
APPROVED: ZH
DWG. NO. **CV01**
SHT. 1 OF 7



TRACT TABLE		
TRACT	AREA (ACRES)	USE
TRACT A	2.20	PRIVATE ACCESSWAY/PUBLIC WATER AND SEWER
TRACT B	0.01	COMMON AREA
TRACT C	0.00	COMMON AREA
TRACT D	0.77	COMMON AREA, WATER EASEMENT, SEWER EASEMENT
TRACT F	0.78	COMMON AREA & DRAINAGE
TRACT G	1.69	COMMON AREA & DRAINAGE
TRACT H	0.06	COMMON AREA
TRACT I	0.52	COMMON AREA & DRAINAGE


1. COMMON AREAS MAY INCLUDE OPEN SPACE, LANDSCAPING, PEDESTRIAN PATHS AND/OR AMENITIES.
2. EASEMENT LIMITS ARE DEFINED ON THE FOLLOWING SHEETS.

LOT TABLE		LOT TABLE	
LOT NO.	AREA (SQ.FT)	LOT NO.	AREA (SQ.FT)
1	12,647	16	12,285
2	12,310	17	12,285
3	12,311	18	13,574
4	14,990	19	13,574
5	25,641	20	15,640
6	12,361	21	15,620
7	12,373	22	21,715
8	21,104	23	24,802
9	21,772	24	17,348
10	15,724	25	23,004
11	15,704	26	19,335
12	13,574	27	12,310
13	13,574	28	12,311
14	12,287	29	12,647
15	12,287		



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REV.



HILGART WILSON
ENGINEER | PLAN | SURVEY | MANAGE
2141 E. HIGHLAND AVE., STE. 250 | P: 602.490.0536 / F: 602.365.2436



TERRAZA

RECKER ROAD & OCOTILLO ROAD
GILBERT ARIZONA

DETAILS AND TABLES

PROJ NO: 1873

DATE: MAY 2018

SCALE: N.T.S.

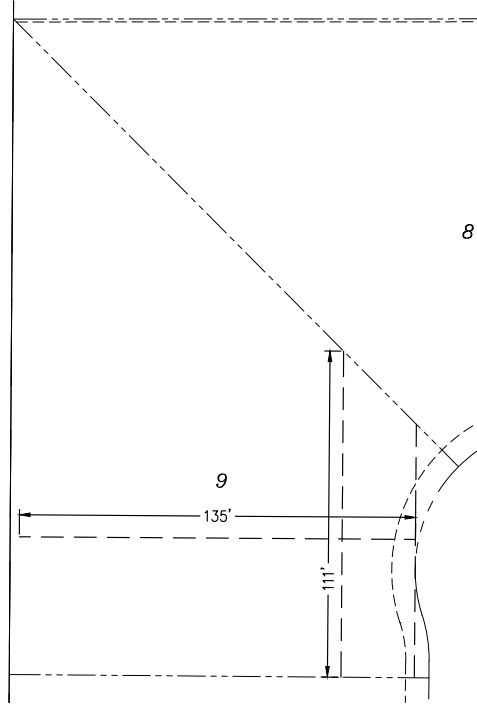
DRAWN: KW/RH

DWG. NC

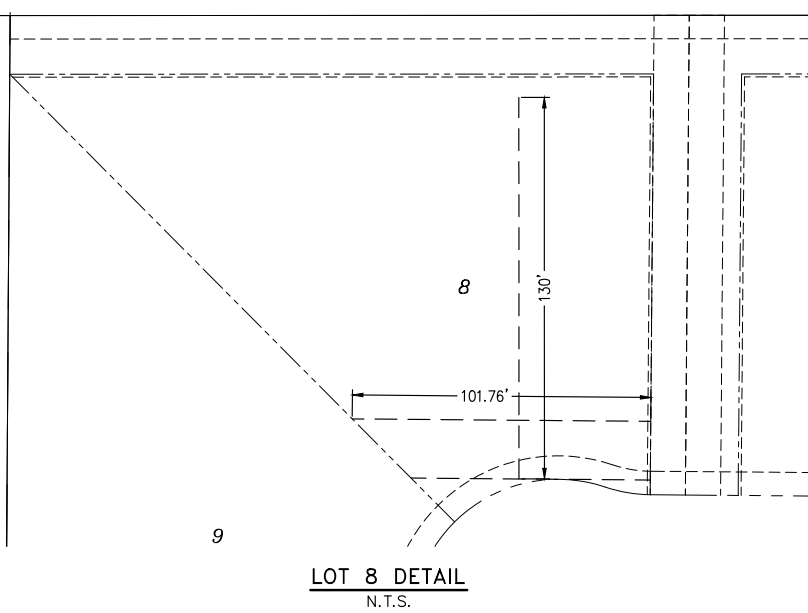
CV02

Page 2 of 2

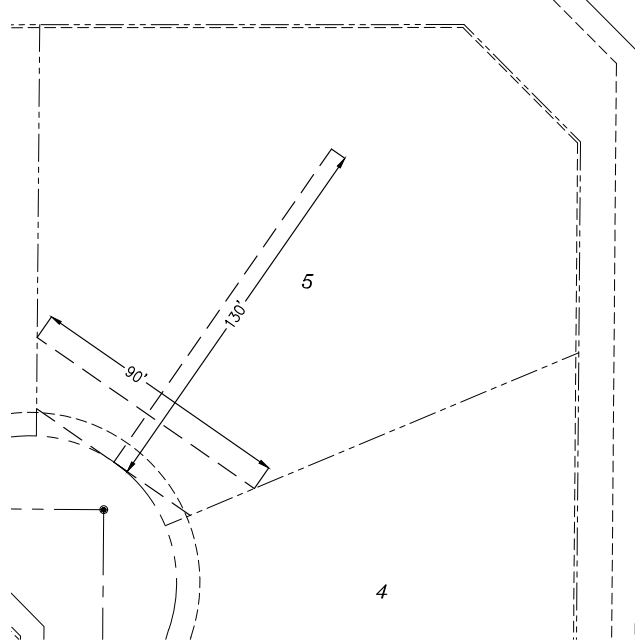
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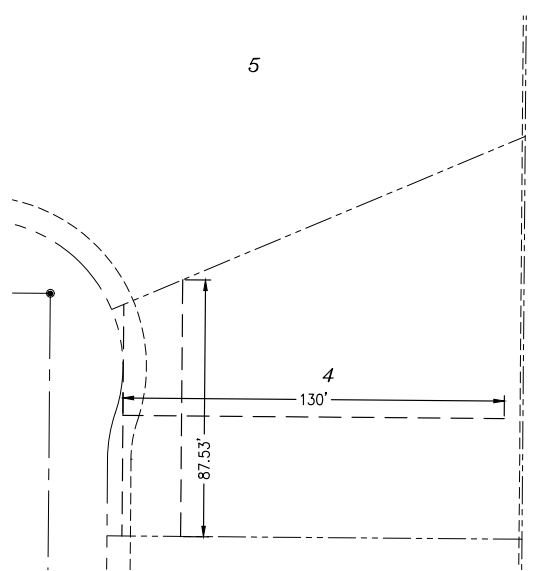
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N.T.S.



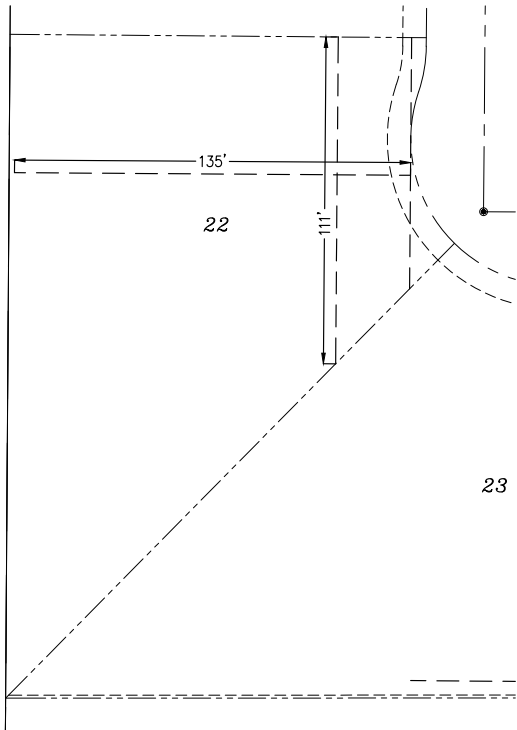
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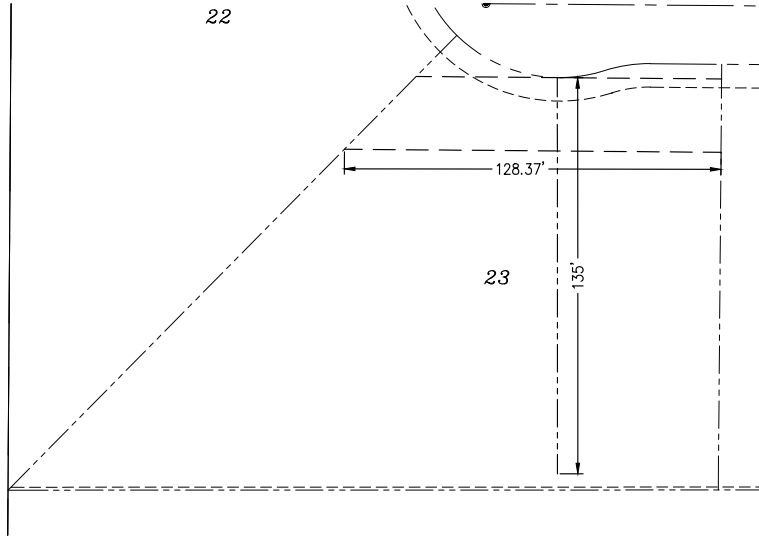
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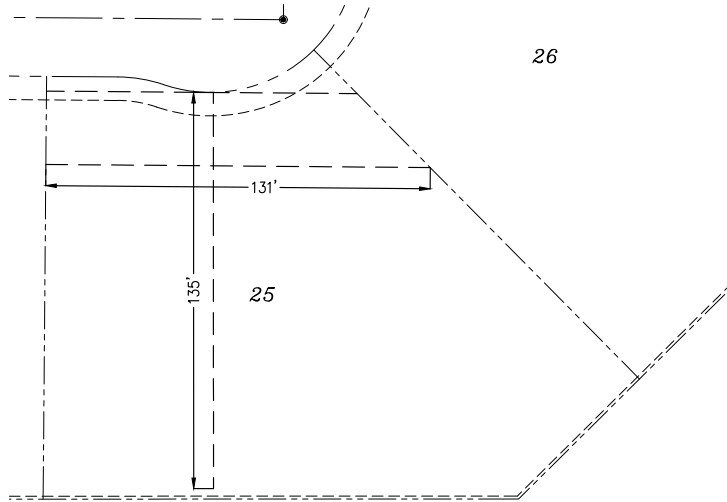
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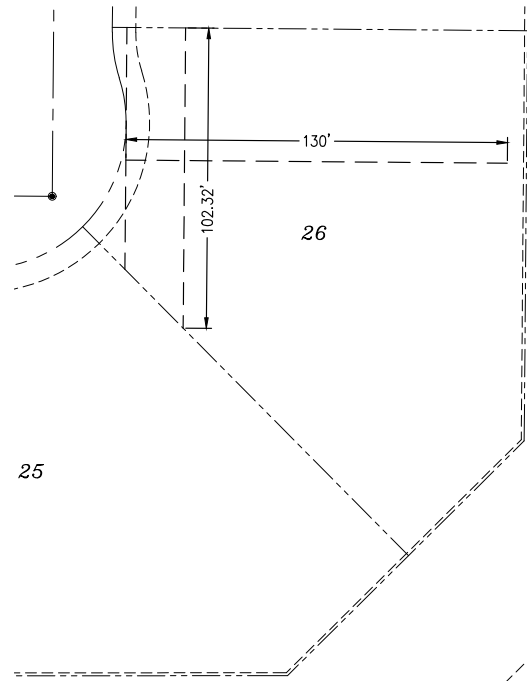
LOT 22 DETAIL
N.T.S.



LOT 23 DETAIL
N.T.S.



LOT 25 DETAIL
N.T.S.



LOT 26 DETAIL
N.T.S.

REV.:

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ENGINEER | PLANNING | SURVEY | MANAGE
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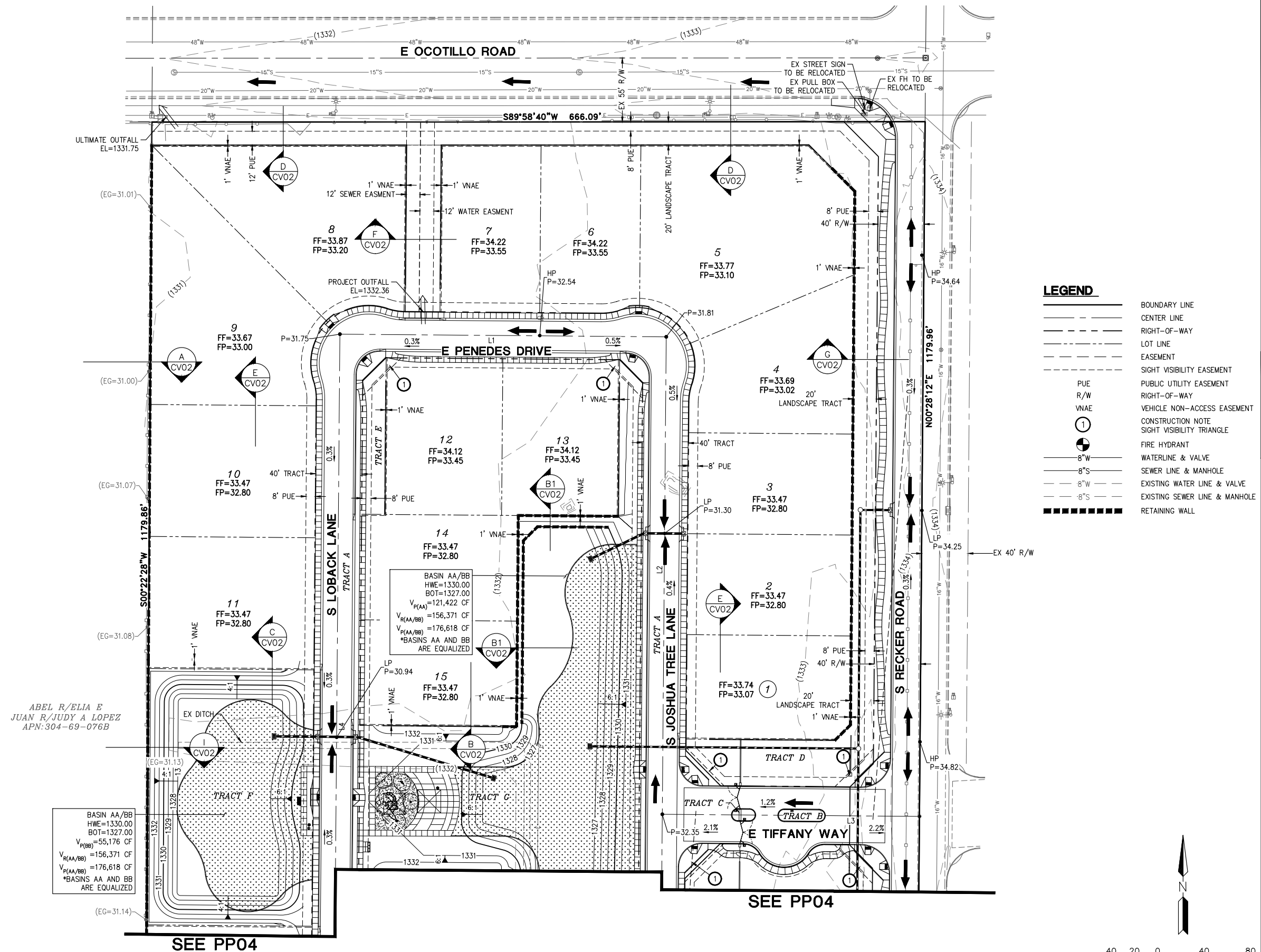


TERRAZA
RECKER ROAD & OCOTILLO ROAD
GILBERT, ARIZONA


SETBACK DETAILS

HILGARTWILSON	PROJ NO.: 1873
	DATE: MAY 2018
	SCALE: N.T.S.
	DRAWN: KW/RH
	DESIGNED: TRB
	APPROVED: ZH
	DWG. NO. DT01
	SHT. 3 OF 7

LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	N89°31'48"W	281.13'
L2	S00°28'12"W	798.24'
L3	N89°31'48"W	221.50'
L4	S00°28'12"W	798.24'



1871



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PRELIMINARY GRADING

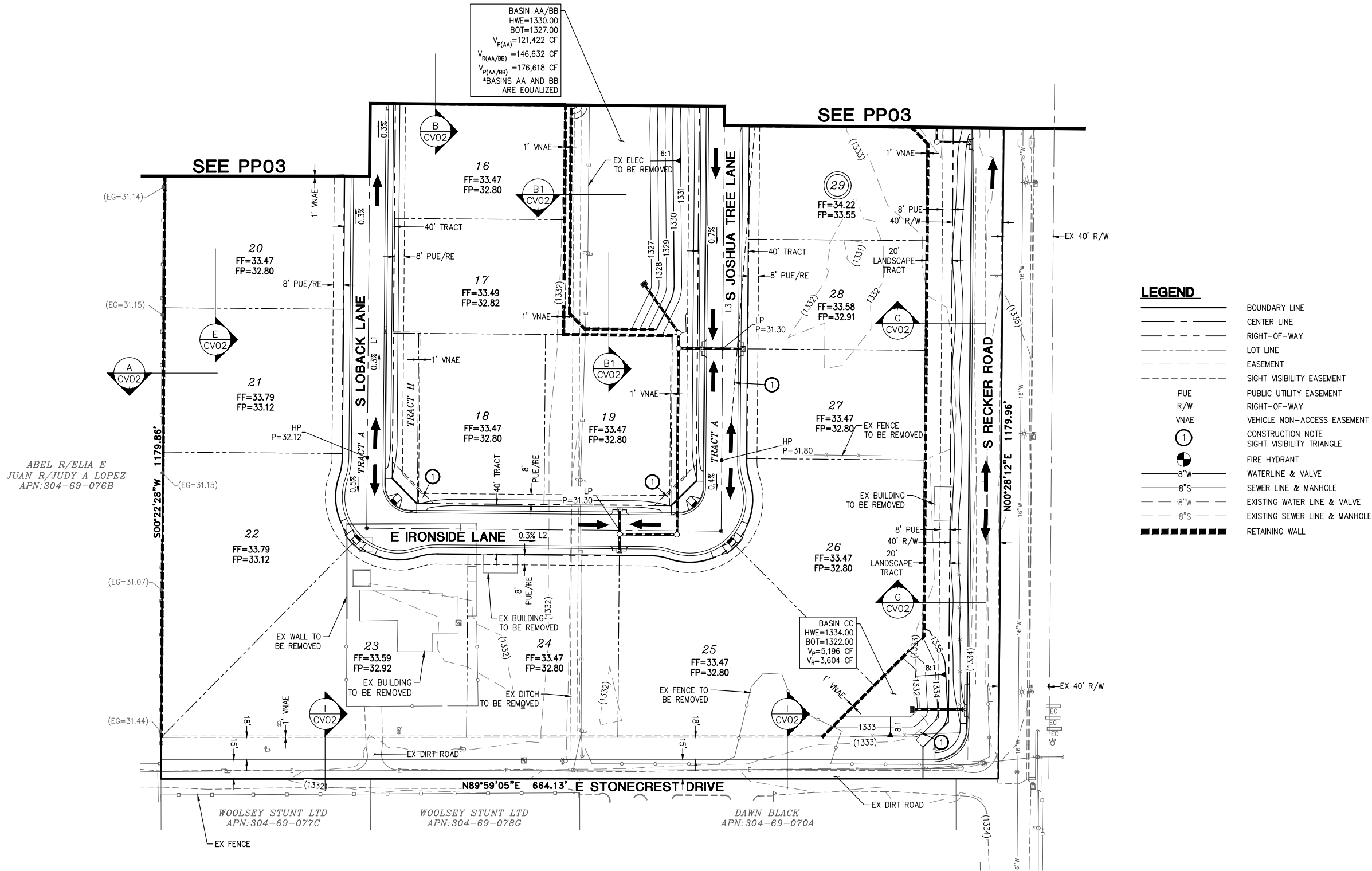
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DATE:	MAY 2018
SCALE:	1" = 40'
DRAWN:	KW/RH
DESIGNED:	TRB
APPROVED:	ZH

DWG. NO.
PP03

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LINE TABLE		
LINE #	DIRECTION	LENGTH
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L2	N89°31'48"W	281.13'
L3	S00°28'12"W	798.24'



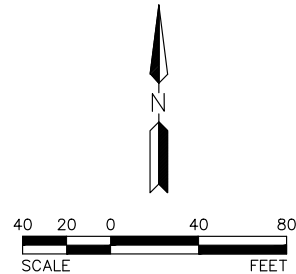
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RECKER ROAD & OCOTILLO ROAD
GILBERT, ARIZONA

HILGARTWILSON
PROJ NO.: 1873
DATE: MAY 2018
SCALE: 1" = 40'
DRAWN: KW/RH
DESIGNED: TRB
APPROVED: ZH

DWG. NO.
PP04
SHT. 7 OF 7



Terraza
Recker & Ocotillo
Preliminary Landscape and Open Space Plan
Ocotillo Rd & Recker Rd
Gilbert, AZ, 85024

2.25.2018

CLIENT:

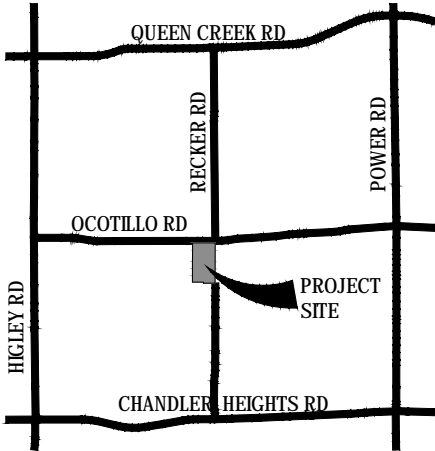
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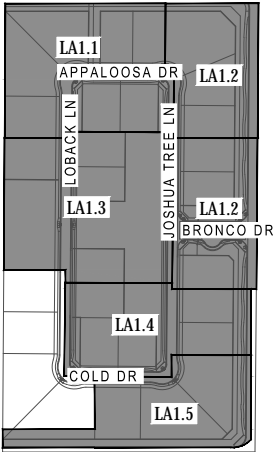
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VICINITY MAP



KEY MAP



SHEET INDEX

Cover Sheet	
General Notes	LA0.1
Wall Plan	LA2.0
Planting Plan	LA3.1 - LA3.5
Construction Details	LA6.1 - LA6.4



Revisions

△	
△	
△	
△	

DATE OF EXHIBIT:
2.25.2018

GENERAL PROJECT NOTES:

1. THESE NOTES ARE TO BE USED AS A GENERAL REFERENCE IN CONJUNCTION WITH AND AS A SUPPLEMENT TO WRITTEN SPECIFICATIONS, APPROVED ADDENDUMS, AND CHANGE ORDERS ASSOCIATED WITH THIS DOCUMENT SET.
2. ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS (THIS DOCUMENT SET) AND PER LOCAL OR STATE GOVERNING CODES AND/OR ORDINANCES, WHICHEVER IS APPLICABLE.
3. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL REVIEW THE PROJECT WITH THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE.
4. THE CONTRACTOR IS RESPONSIBLE TO BECOME FAMILIAR WITH THE PROJECT SITE AND LOCATIONS OF EXISTING AND FUTURE UNDERGROUND SERVICES AND IMPROVEMENTS WHICH MAY CONFLICT WITH THE WORK TO BE DONE. THE CONTRACTOR SHALL UTILIZE AN UNDERGROUND UTILITY COORDINATION SERVICE TO MARK EXISTING UTILITIES 48 HOURS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNERS AUTHORIZED REPRESENTATIVE IMMEDIATELY SHOULD ANY CONFLICT ARISE.
5. THE CONTRACTOR SHALL PROVIDE MATERIALS OR EQUIPMENT AND PERFORM REQUIRED INCIDENTAL PROCEDURES THAT MAY BE NECESSARY TO COMPLETE THE PROJECT TO SATISFACTORY CONDITION AS DIRECTED BY THE DESIGN INTENT OF THIS DOCUMENT SET AND THEREFORE SHALL MEET MINIMUM CONSTRUCTION REQUIREMENTS AND INDUSTRY STANDARDS NOTWITHSTANDING MENTION OR REFERENCE IN THIS DOCUMENT SET.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS AND SHALL NOTIFY ALL UTILITY COMPANIES WITH UTILITIES ON SITE PRIOR TO THE CONSTRUCTION OF THE PROJECT.
7. INTERPRETATION OF THIS DOCUMENT SET IN ITS ENTIRETY SHALL BE MADE BY THE LANDSCAPE ARCHITECT OF RECORD AND SHALL BE CONSIDERED FINAL. DISCREPANCIES SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR PRIOR TO SUBMITTING FORMAL BIDS. ALL CLARIFICATIONS SHALL BE PREPARED IN WRITING BY THE LANDSCAPE ARCHITECT OF RECORD PRIOR TO BIDDING. THE CONTRACTOR SHALL ACCEPT THE INTERPRETATION OF THE LANDSCAPE ARCHITECT OF RECORD AS THE CORRECT AND FINAL INTERPRETATION.
8. THIS DOCUMENT SET, INCLUDING ALL PLAN SHEETS, NOTES, DETAILS AND SPECIFICATIONS SHALL BE UTILIZED BY THE CONTRACTOR PERFORMING INSTALLATION AS GENERAL GUIDELINES FOR THE PROJECT DESIGN INTENT. QUANTITIES SHOWN IN THIS DOCUMENT SET ARE ESTIMATES ONLY AND ARE NOT THEREFORE GUARANTEED; THE CONTRACTOR SHALL SUPPLY ALL MATERIALS, LABOR AND EQUIPMENT IN ORDER COMPLETE PROJECT AS SPECIFIED IN THESE DOCUMENTS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPORT ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT AND/OR THE OWNERS AUTHORIZED REPRESENTATIVE PRIOR TO THE START OF WORK.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND COORDINATING EXISTING SITE CONDITIONS.
11. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONARY MEASURES TO PROTECT EXISTING IMPROVEMENTS AND THE PUBLIC FROM DAMAGE THROUGHOUT THE CONSTRUCTION PROCESS.
12. SHOULD THE CONTRACTOR HAVE ANY QUESTIONS REGARDING THIS DOCUMENT SET OR SHOULD THERE BE ANY DISCREPANCIES, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING.
13. CONTRACTOR SHALL PROPERLY COORDINATE WORK TO BE PERFORMED WITH OTHER CONTRACTOR'S WORK PRIOR TO INSTALLATION.
14. CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY DAMAGES IMPOSED, UNINTENTIONALLY OR ACCIDENTALLY TO EXISTING UTILITIES, STRUCTURES, WALLS, OR OTHER AMENITIES, DUE TO THE ACTION OF THE CONTRACTOR, THE EMPLOYEES OF THE CONTRACTOR OR THE CONTRACTOR'S SUBCONTRACTORS. DAMAGE INCURRED DURING THE CONTRACTOR'S OPERATION SHALL BE REPAIRED. AT THE EXPENSE OF THE CONTRACTOR, TO THE SATISFACTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE.
15. EXISTING SITE CONDITIONS AND THE DOCUMENT SET BASE INFORMATION HAVE BEEN PROVIDED BY THE PROJECT CIVIL ENGINEER.
16. CONTRACTOR SHALL MATCH GRADES, LAYOUT AND ELEVATIONS OF ADJOINING LANDSCAPE WORK BY OTHERS. NOTIFY THE LANDSCAPE ARCHITECT OF CONFLICTS BEFORE PROCEEDING WITH CONSTRUCTION.
17. THE CONTRACTOR SHALL PROVIDE BARRICADES AND TRAFFIC CONTROL ALONG PUBLIC STREETS, IF REQUIRED, DURING INSTALLATION AND SHALL BE RESPONSIBLE FOR SECURING APPROVAL AND PERMIT FOR THE PROCESS.

PLANTING GENERAL NOTES:

1. CONTRACTOR SHALL REVIEW PLANTING PLAN WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
2. CONTRACTOR SHALL REVIEW SITE SOILS REPORT PRIOR TO PLANTING. WATER TEST ALL TREE PLANTING HOLES PRIOR TO PLANTING. IF TREE HOLE DOES NOT DRAIN, DO NOT PLANT. SEE HARDPAN DETAIL.
3. PLANTING AND IRRIGATION DESIGN MAY BE MODIFIED TO ADAPT TO HARDSCAPE CONFIGURATIONS THAT DIFFER FROM THESE PLANS, OR BECAUSE OF GRADE LIMITATIONS ON SITE. SUBSTANTIAL DEVIATION FROM THIS DOCUMENT SET WILL REQUIRE REVIEW AND APPROVAL FROM OWNERS AUTHORIZED REPRESENTATIVE.
4. LANDSCAPE ARCHITECT AND/OR OWNER'S AUTHORIZED REPRESENTATIVE RESERVE THE RIGHT TO REFUSE ANY PLANT MATERIALS DEEMED UNACCEPTABLE. SEE SPECIFICATIONS AND THIS DOCUMENT SET FOR MINIMUM REQUIREMENTS.
5. THE CONTRACTOR SHALL SUBMIT IN WRITING REQUESTS FOR ANY AND ALL SUBSTITUTIONS TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
6. CONTRACTOR SHALL REFER TO THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS NOT SHOWN ON DRAWINGS.
7. ALL PLANT MATERIAL SHALL BE IN COMPLIANCE WITH THE AMERICAN STANDARDS FOR NURSERY STOCK, LATEST EDITION AND STANDARDIZED PLANT NAMES, LATEST EDITION.
8. PLANT MATERIAL MARKED 'SALVAGE' SHALL BE SELECTED FROM FROM ON-SITE SALVAGE INVENTORY OR LOCATED BY THE LANDSCAPE ARCHITECT FROM ANOTHER SOURCE. ALL MATERIAL SELECTIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT AND/OR OWNER'S AUTHORIZED REPRESENTATIVE.
9. FINAL LOCATION OF PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE OWNERS AUTHORIZED REPRESENTATIVE.
10. ALL SPECIMEN TREES, SHRUBS, AND CACTI SHALL BE FIELD LOCATED BY LANDSCAPE ARCHITECT OR OWNERS AUTHORIZED REPRESENTATIVE.
11. LOCATE PLANTS AWAY FROM SPRINKLER HEADS, LIGHT FIXTURES AND OTHER OBSTRUCTIONS. CONTRACTOR SHALL OBSERVE MINIMUM OFFSETS FROM THE FOLLOWING STRUCTURES; TREES SHALL BE PLANTED A MINIMUM OF 10'-0" FROM STREET LIGHTS (MEASURED FROM MATERIAL MATURITY), 6'-0" FROM EDGE OF UNDERGROUND PIPELINES AND A MINIMUM OF 4'-0" FROM HARDSCAPE. CURBS AND WALLS (MEASURED FROM CENTER OF PLANT MATERIAL). SHRUBS SHALL BE PLANTED A MINIMUM OF 2'-0" FROM CURB AND WALKS AND 3'-0" FROM FIRE SUPPRESSION DEVICES (MEASURED FROM MATERIAL MATURITY). LOCAL OR STATE GOVERNING CODES AND/OR ORDINANCES SHALL SUPERCEDE SPECIFIED DISTANCES SO LONG AS THEY SURPASS STATED REQUIREMENTS.
12. CONTRACTOR SHALL INSTALL 'SHAWTOWN ROOT BARRIER PANELS' (OR APPROVED EQUAL) AT ALL TREES WITHIN 6'-0" FEET OF HARDSCAPE ELEMENTS INCLUDING (BUT NOT LIMITED TO) SIDEWALKS, ASPHALT, CONCRETE SLABS / FOOTINGS AND STRUCTURES. CONTRACTOR SHALL SUBMIT SPECIFICATION SHEETS OF PROPOSED ROOT BARRIER PANELS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
13. THE CONTRACTOR SHALL INSTALL ARBOR GUARDS AT ALL TREES LOCATED IN TURF AREAS.
14. ON-SITE AND OFF-SITE TOPSOIL SHALL CONFORM TO CONTENT REQUIREMENTS AS SPECIFIED IN PART 2 OF THE PLANTING SPECIFICATIONS. AGRONOMY TEST SUBMITTALS ARE REQUIRED FOR ALL MATERIAL USED FOR TOPSOIL AND BACKFILL. SUBMIT REPORT TO LANDSCAPE ARCHITECT FOR REVIEW.
15. CACTI SHALL BE PLANTED A MINIMUM OF 3'-0" AWAY FROM ALL PEDESTRIAN ROUTES.
16. CACTI SHALL BE WELL ROOTED AND NON-SCARRED.
17. ALL TREE STAKING SHALL CONFORM TO THE PLANTING DETAILS OR AS NOTED IN THE SPECIFICATIONS. THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE SHALL REVIEW TYPICAL TREE STAKING PRIOR TO FINAL ACCEPTANCE.
20. CONTRACTOR SHALL INSTALL ANGULAR GRANITE RIP-RAP IN ALL DRAINAGE SWALES, AND WHERE INDICATED ON PLANS. REFER TO MATERIALS SCHEDULE 1 FOR PLANTING AND END FOR COLOR AND SIZE OF ANGULAR GRANITE RIP-RAP. CONTRACTOR SHALL SUBMIT SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. CONTRACTOR SHALL REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION.
21. DECOMPOSED GRANITE IS REQUIRED IN ALL PLANTING AREAS EXCEPT AREAS OF TURF AND ANGULAR GRANITE RIP-RAP AND SHALL EXTEND UNDER PLANT MATERIAL UNLESS NOTED OTHERWISE ON PLANS. ALL PLANTING AREAS SHALL RECEIVE A 2" MINIMUM LAYER OF DECOMPOSED GRANITE THROUGHOUT. REFER TO MATERIALS SCHEDULE 1 FOR PLANTING LEGEND FOR SIZE AND COLOR OF DECOMPOSED GRANITE. CONTRACTOR SHALL SUBMIT SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
22. THE CONTRACTOR SHALL PROVIDE MAINTENANCE FOR ALL PLANT MATERIAL FROM THE TIME OF INSTALLATION THROUGH SUBSTANTIAL COMPLETION.
23. PLANT MATERIAL SHALL NOT BE INSTALLED OR ALLOWED TO GROW TO WITHIN 3'-0" OF A FIRE HYDRANT OR FIRE DEPARTMENT CONNECTION (P.D). MAINTAIN A MINIMUM VERTICAL CLEARANCE OF 15'-0" WHERE TREES OVERHANG THE CURB LINE. TREES SHALL BE PLANTED A MINIMUM OF 5'-0" FROM ANY STRUCTURE UNLESS OTHERWISE NOTED.
24. IN DISTURBED AREAS INDICATED TO RECEIVE VEGETATION HYDROSEED AND/OR PLANTING, THE CONTRACTOR SHALL MATCH EXISTING NATURAL DESERT FLOOR GROUND COVER CONDITIONS ADJACENT TO THE PROJECT.
25. NATIVE REVEGETATION AREAS AND PLANTER BEDS NOTED IN THIS DOCUMENT SET SHALL BE TREATED WITH PRE-EMERGENT AS PER MANUFACTURER'S INSTRUCTIONS. RE-APPLY AS NECESSARY TO ELIMINATE INVASIVE WEEDS. REMOVE ALL DEAD DEBRIS.
26. THE CONTRACTOR SHALL PROVIDE A 50'-0" BY 50'-0" TYPICAL MOCKUP OF NATIVE REVEGETATION AREAS NOTED IN THIS DOCUMENT SET FOR REVIEW BY THE LANDSCAPE ARCHITECT OR OWNERS AUTHORIZED REPRESENTATIVE.

IRRIGATION GENERAL NOTES:

1. THE CONTRACTOR SHALL INSTALL THE SPECIFIED SYSTEM IN ACCORDANCE WITH THE ATTACHED SCHEDULES, NOTES, DETAILS, AND SPECIFICATIONS.
2. CONTRACTOR TO VERIFY PRESSURE ON SITE AND NOTIFY LANDSCAPE ARCHITECT OR OWNERS AUTHORIZED REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO INSTALLATION OR ORDERING OF MATERIALS. IF CONTRACTOR FAILS TO NOTIFY THE PROPER PARTY, THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR ALL NECESSARY SYSTEM ALTERATIONS REQUIRED TO FACILITATE AN EFFICIENT AND OPERATIONAL SYSTEM. THIS IRRIGATION SYSTEM REQUIRES A MINIMUM OF 65 TO 75 PSI WATER PRESSURE AT WATER METER.
3. THE CONTRACTOR SHALL VISIT SITE PRIOR TO BIDDING ON PROJECT TO VERIFY INSTALLATION CONDITIONS.
4. THE CONTRACTOR SHALL FIELD VERIFY EXISTING TAP LOCATIONS. ALL NEW METERS SHALL BE INSTALLED PER THE IRRIGATION SCHEDULE.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULL IRRIGATION COVERAGE OF ALL PLANT MATERIAL INCLUDING TURF.
6. WORK SHALL CONFORM TO ALL CONSTRUCTION CODES AND REGULATIONS.
7. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL CONTACT AN UNDERGROUND UTILITY COORDINATION SERVICE TO VERIFY LOCATIONS AND DEPTHS OF EXISTING UTILITIES THAT MAY BE AFFECTED BY DESCRIBED WORK, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF THE IRRIGATION INSTALLATION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPENSATING THE OWNER AND/OR THE OWNERS REPRESENTATIVE FOR ANY DESIGN CHANGES MADE AS A RESULT OF DEVIATION BY THE CONTRACTOR FROM THE PLANS AND SPECIFICATIONS OR DUE TO ERRORS, FAULTY MATERIAL OR FAULTY WORKMANSHIP.
9. ALL VALVES SHALL NOT EXCEED MANUFACTURES SPECIFICATIONS.
10. SUPPLY THE FOLLOWING MATERIAL TO THE OWNER.
 - 10.1. TWO WRENCHES FOR DISASSEMBLY AND ADJUSTING OF EACH TYPE OF SPRINKLER HEAD AND VALVE SUPPLIED.
 - 10.2. TWO KEYS FOR EACH OF THE CONTROLLERS.
 - 10.3. TWO COUPLERS WITH MATCHING HOSE MBBS AND SHUT-OFF VALVE.
 - 10.4. TWO VALVE BOX KEYS.
11. INSTALL PVC MAINLINE AND LATERALS ACCORDING TO THE IRRIGATION AND PIPING SCHEDULES.
12. ALL VALVES SHALL NOT EXCEED MANUFACTURERS DESIGN SPECIFICATIONS.
13. VALVE BOXES SHALL BE SQUARE TO ADJACENT WALKS OR CURBS AND FLUSH WITH THE FINAL GRADE AND GROUPED TOGETHER WHEN POSSIBLE.
14. CONTRACTOR SHALL INSTALL GREEN VALVE BOXES IN TURF AREAS AND TAN VALVE BOXES IN DECOMPOSED GRANITE AREAS.
15. VALVE BOXES TO BE BRANDIED WITH CONTROLLER AND STATION NUMBER.
16. INSTALL ALL MAINLINES WITH A MINIMUM OF 30" OF COVER.
17. INSTALL ALL LATERALS WITH A MINIMUM OF 12" OF COVER.
18. ALL PIPE TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND ASTM STANDARD B 2774.
19. FLUSHING OF ALL LINES PRIOR TO INSTALLATION OF SPRINKLERS AND EMITTERS IS REQUIRED.
20. INSTALL ALL SPRINKLERS, EMITTERS, AND RELATED MATERIAL PER IRRIGATION SYSTEM SPECIFICATIONS AND DETAILS.
21. CONTROLLER TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. CONTROLLER SIZE AND QUANTITIES TO BE DETERMINED BY THE VALVE REQUIREMENTS AND POINT OF CONNECTIONS. INSTALL ONE (1) CONTROLLER AT EACH POINT OF CONNECTION.
22. ALL ELECTRICAL CONNECTIONS SHALL BE MADE AT THE REMOTE CONTROL VALVE BOXES, CONTROLLER ENCLOSURES AND VALVE BOXES SPECIFICALLY FOR ELECTRICAL CONNECTIONS.
23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL WIRING FROM THE CIRCUIT BREAKER AT THE 120 VOLT SOURCE LOCATION TO AUTOMATIC CONTROLLER.
24. CONTROLLER WIRES THAT ARE DIRECT BURIED SHALL BE #14 OR BETTER, BUNDLED OR WRAPPED A MINIMUM OF EVERY TWELVE (12) FEET. DURING INSTALLATION WIRES SHALL HAVE A 24" LOOP TIED IN ALL DIRECTION CHANGES GREATER THAN 30 DEGREES AND BE UNITED PRIOR TO TRENCH FILL IN.
25. INSTALL ALL VALVE WIRING IN MAINLINE TRENCH AS DETAILED.
26. INSTALL ALL MAINLINE GATE VALVES IN A ROUND PLASTIC VALVE BOX PER DETAILS.
27. THE MAINLINE, LATERAL PIPE, AND VALVES ARE SHOWN SCHEMATICALLY AND SHALL BE INSTALLED WITHIN THE LANDSCAPE AREA, ADJACENT TO HARDSCAPE WITHIN DESCRIBED LIMIT OF WORK.
28. ALL MAINLINE PIPE SHALL BE A MINIMUM OF SCHEDULE 40.
29. ALL MAINLINE AND IRRIGATION EQUIPMENT SHALL BE PLACED IN THE LANDSCAPED AREAS.
30. SLEEVES SHALL BE A MINIMUM OF TWO TIMES THE DIAMETER OF THE LINE SIZE AND INSTALLED AS SCHEDULE 40 PVC MINIMUM.
31. ALL PVC SOLVENT WELD FITTINGS SHALL BE LASCO OR APPROVED EQUAL.
32. FLUSH CAPS SHALL BE PLACED IN A VALVE BOX AT THE END OF ALL LATERALS.
33. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING AND PATCHING OF ASPHALT AND CONCRETE AS REQUIRED FOR SLEEVE INSTALLATION ACCORDING TO THE IRRIGATION SCHEDULE.
34. ALL THREADED JOINTS TO BE COATED WITH TEFLON TAPE UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER. USE LIQUID TEFLON ON METAL PIPE THREADS ONLY.
35. INSTALL ALL ELECTRICAL JOINTS WITH 3-M WATERPROOF CONNECTORS.
36. ALL 120 VOLT POWER WIRE TO BE INSTALLED PER LOCAL CODE.
37. INSTALL ALL REMOTE CONTROL VALVES AT HEIGHT INDICATED ON DETAILS, AS HIGH AS POSSIBLE BUT ALLOWING CLEARANCE BETWEEN VALVE BOX LID AND FLOW CONTROL HANDLE ON REMOTE CONTROL VALVE.
38. ALL VALVES, PRESSURE REGULATORS AND OTHER DEVICES SHALL BE PLACED IN AN APPROPRIATELY SIZED VALVE BOX WITH A MINIMUM OF TWO (2) INCHES OF PEA GRAVEL.
39. ALL PIPE CROSSINGS IN THE RIGHT-OF-WAY SHALL BE MARKED ON EACH SIDE OF THE CURB WITH A NON-DESTRUCTIBLE MARKING.
40. ALL BACKFLOW PREVENTION DEVICES SHALL HAVE A MINIMUM 24"x36"x4" CLASS B CONCRETE SLAB WITH PIPE SLEEVES. IF A SECURITY CAGE IS INSTALLED, CONCRETE SHALL BE SIX (6") INCHES LARGER ON ALL SIDES THAN THE SECURITY CAGE.
41. BACKFLOW DEVICES SHALL BE A MINIMUM OF TWO (2) FEET FROM THE WATER METER AND BE THE SAME SIZE AS THE METER SERVICE LINE.
42. AFTER INITIAL TESTING, ALL BACKFLOW DEVICES SHALL BE TESTED ANNUALLY.
43. PRIOR TO PLACING ANY IRRIGATION SYSTEM IN SERVICE, AN ARIZONA CERTIFIED BACKFLOW DEVICE TESTER SHALL TEST THE BACKFLOW PREVENTION DEVICE AND GIVE A COPY OF THE PASSED TEST RESULTS TO THE PROPER GOVERNING AGENCIES.

HARDSCAPE GENERAL NOTES:

1. CONTRACTOR SHALL LAYOUT AND VERIFY ALL HARDSCAPE ELEMENTS PRIOR TO CONSTRUCTION FOR REVIEW BY THE LANDSCAPE ARCHITECT OR OWNERS AUTHORIZED REPRESENTATIVE. THE CONTRACTOR SHALL CONTACT THE OWNERS AUTHORIZED REPRESENTATIVE SHOULD ANY DISCREPANCIES EXIST. THE CONTRACTOR SHALL SUBMIT IN WRITING SUGGESTED MODIFICATION AND RECEIVE TRANSMITTED RECORD OF APPROVAL FROM OWNERS AUTHORIZED REPRESENTATIVE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. DIMENSIONS SHOWN ON THIS PLAN ARE BASED ON THE DOCUMENTS SUBMITTED BY THE PROJECT CIVIL ENGINEER. THE CONTRACTOR SHALL CONTACT THE OWNER'S AUTHORIZED REPRESENTATIVE SHOULD ANY DISCREPANCIES OCCUR. THE CONTRACTOR SHALL SUBMIT IN WRITING SUGGESTED MODIFICATION AND RECEIVE TRANSMITTED RECORD OF APPROVAL FROM OWNERS AUTHORIZED REPRESENTATIVE PRIOR TO COMMENCEMENT OF ANY FIELD REVISIONS.
3. REFER TO CONSTRUCTION DOCUMENTS PREPARED BY THE PROJECT CIVIL ENGINEER FOR ALL INFORMATION REGARDING HORIZONTAL AND VERTICAL CONTROL DIMENSIONS.
4. CONTRACTOR SHALL BE RESPONSIBLE TO HAVE ALL STRUCTURES REPRESENTED IN THE CONTRACT DOCUMENTS (THIS DOCUMENT SET) REVIEWED BY A REGISTERED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION UNLESS OTHERWISE STATED.
5. FOOTINGS, WALLS AND FENCES SHALL BE PLACED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY.
6. CONTRACTOR SHALL HAVE SIDEWALKS SURVEYED AND STAKED FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT 48 HOURS IN ADVANCE FOR SITE REVIEW.
7. UNLESS OTHERWISE NOTED IN THIS DOCUMENT SET OR NOTED IN DETAILS, SIDEWALKS SHALL BE 5'-0" IN WIDTH, 4" THICK, 2500 PSI CONCRETE ON COMPACTED BASE PER SITE SOILS REPORT WITH CONSTRUCTION JOINTS AT 5'-0" ON CENTER AND EXPANSION JOINTS AT 20'-0" ON CENTER. SIDEWALKS SHALL HAVE A MEDIUM BROOM, NON-SKID FINISH PERPENDICULAR TO DIRECTION OF TRAVEL WITH 1/2" RADIUS TOOLED EDGES.
8. RADIUS AT SIDEWALK INTERSECTIONS SHALL BE 5'-0" (TYPICAL), UNLESS NOTED OTHERWISE.
9. CONTRACTOR SHALL PREPARE A 4'X4' SAMPLE PANEL FOR EACH TYPE OF HARDSCAPE MATERIAL SPECIFIED IN THE CONTRACT DOCUMENTS (THIS DOCUMENT SET) FOR APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNERS AUTHORIZED REPRESENTATIVE PRIOR TO CONSTRUCTION.
10. CONTRACTOR IS RESPONSIBLE FOR REMOVING STAINS AND SPILLS ON FINISHED HARDSCAPE IMMEDIATELY.
11. CONTRACTOR IS RESPONSIBLE FOR PROTECTING FINISHED WORK UNTIL PROJECT ACCEPTANCE BY OWNER/OWNER'S REPRESENTATIVE.

GRADING GENERAL NOTES:

1. CONTRACTOR SHALL GRADE TO MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES AND MAINTAIN AND/OR CREATE DRAINAGE SPECIFIED ON THE PROJECT CIVIL ENGINEERS CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL KEEP DRAINAGE WAYS AND NATURAL FLOW CHANNELS SPECIFIED FREE FROM OBSTRUCTIONS THAT MAY IMPAIR FLOW.
2. FINISH GRADING SHALL BE BY THE DIRECTION OF THE LANDSCAPE ARCHITECT. ALL GRADING SHALL BE APPROVED BY OWNERS AUTHORIZED REPRESENTATIVE PRIOR TO PLANTING.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY CALICHES ENCOUNTERED ON SITE AT NO ADDITIONAL COST TO THE OWNER.
4. FINISH GRADE OF ALL PLANTING AREAS SHALL COMPLY WITH PART 3 OF THE PLANTING SPECIFICATIONS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CREATING A NATURAL UNDULATING GROUNDPLANE IN ALL PLANTING AREAS AT/PER THE DIRECTION OF THE LANDSCAPE ARCHITECT.

TOWN OF GILBERT GENERAL NOTES

PAVING NOTES
SUBGRADE MUST MEET ALL TOWN OF GILBERT TESTING REQUIREMENTS AND HAVE APPROVAL OF THE ENGINEERING DEPARTMENT 24 HOURS PRIOR TO PLACING BASE COURSE MATERIAL. STOCKPILING OF BASE MATERIAL ON THE SUBGRADE WILL NOT BE PERMITTED. THE FINISHED BASE COURSE MUST MEET ALL TOWN OF GILBERT TESTING REQUIREMENTS AND HAVE APPROVAL OF THE ENGINEERING DEPARTMENT 24 HOURS PRIOR TO THE PLACEMENT OF ASPHALT.

CONCRETE NOTES
ALL SUBGRADE MUST MEET ALL TOWN OF GILBERT TESTING REQUIREMENTS AND HAVE APPROVAL OF THE ENGINEERING DEPARTMENT 24 HOURS PRIOR TO ANY CONCRETE PLACEMENT FOR SIDEWALK, CURB AND/OR GUTTER, VALLEY GUTTER, APRONS, SCUFFERS, THRUST BLOCKS, MANHOLE BASES, DRIVEWAY, DRIVEWAY ENTRANCES, RIBBON CURBS AND ISLETS.

WATER AND SEWER MAIN CONSTRUCTION NOTE
BEDDING MATERIAL AND THE PLACEMENT OF THE BEDDING MATERIAL MUST MEET ALL TOWN OF GILBERT TESTING REQUIREMENTS AND HAVE APPROVAL OF THE ENGINEERING DEPARTMENT 24 HOURS PRIOR TO ANY PIPE INSTALLATION. HAUNCHING AND INITIAL BACKFILL MUST BE APPROVED BY THE ENGINEERING DEPARTMENT PRIOR TO FINAL BACKFILL.

LANDSCAPE IRRIGATION NOTE
ALL LANDSCAPE AND IRRIGATION INSTALLATIONS ARE TO BE IN ACCORDANCE WITH ALL TOWN OF GILBERT STANDARD DETAILS, AND STREETScape GUIDELINES; AND APPROVED PLANS. THE ENTIRE SYSTEM INCLUDING ALL FITTINGS AND CONNECTIONS MUST BE INSPECTED AND/OR TESTED BEFORE BACKFILLING BY THE TOWN OF GILBERT OFF-SITE INSPECTOR. THE TOWN OF GILBERT WATER DEPARTMENT REQUIRES AN INSPECTION OF ALL BACKFLOW PREVENTION DEVICES. PLANTING MATERIALS ARE TO BE INSPECTED BY THE PLANNING DEPARTMENT. THE OFF-SITE INSPECTOR WILL COORDINATE AND/OR SCHEDULE ALL INSPECTIONS. ALL WORKMANSHIP AND MATERIALS MUST BE UNDER WARRANTY FOR A PERIOD OF ONE YEAR, BY THE CONTRACTOR AND/OR DEVELOPER. ALL PLANT MATERIAL MUST BE WARRANTED AS SPECIFIED ON THE APPROVED PLANS.

MAINTENANCE NOTE
ALL LANDSCAPE AREAS AND MATERIALS SHALL BE MAINTAINED IN A HEALTHY, NEAT, CLEAN, AND WEED-FREE CONDITION. THIS SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION.

EFFLUENT NOTE
ALL IRRIGATION MUST COMPLY WITH TOWN OF GILBERT RECLAIMED WATER MANUAL, MAG SECTION 616.

GENERAL NOTES
EXCAVATION AND CONSTRUCTION WORK WILL NOT BE PERMITTED IN PUBLIC RIGHT-OF-WAY OR PUBLIC UTILITY EASEMENTS ON SATURDAY, SUNDAY OR LEGAL HOLIDAYS.

ALL IMPROVEMENTS WITHIN THE RETENTION BASIN AND/OR ROADWAY PARKWAYS SHALL BE IN ACCORDANCE WITH THE LATEST TOWN OF GILBERT PROCEDURES FOR DEVELOPERS AND ENGINEERS.

CONTRACTOR IS ADVISED THAT AN EXCAVATION AND DIRT MOVING PERMIT IS REQUIRED BY THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT AND THE TOWN OF GILBERT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN THIS PERMIT AND COMPLY WITH ITS REQUIREMENTS. DURING CONSTRUCTION OF THIS PROJECT THE CONTRACTOR WILL BE REQUIRED TO PERFORM DAILY CLEAN UP AND MAINTENANCE OF ALL ADJACENT (OFF-SITE) ROADWAYS USED DURING THE COURSE OF THIS CONSTRUCTION.

ALL SPRINKLER AND LANDSCAPE WORK MUST BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE TOWN OF GILBERT PROCEDURE MANUAL. SEPARATE PERMIT REQUIRED FOR LANDSCAPE/IRRIGATION INSTALLATIONS.

NO WALLS, BUILDINGS, OR OTHER VIEW OBSTRUCTIONS IN EXCESS OF TWO (2) FEET IN HEIGHT SHALL BE PLACED ON ANY CORNER LOT WITHIN A TRIANGULAR AREA FORMED BY THE CURB LINES AND A LINE CONNECTING THEM AT POINTS 33 FEET FROM THE INTERSECTION OF THE CURB LINES. TREES MAY BE LOCATED WITHIN THE TRIANGLE PROVIDED THEY ARE PRUNED HIGH ENOUGH TO PERMIT UNOBSTRUCTED VISION.

CALL THE BLUE STAKE CENTER (263-1100) 48 HOURS BEFORE DIGGING FOR LOCATION OF UNDERGROUND UTILITIES.

TRAFFIC CONTROL SHALL BE MAINTAINED IN ACCORDANCE WITH MAG SPECIFICATION 401, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND THE CURRENT CITY OF PHOENIX TRAFFIC CONTROL MANUAL.

ALL TRAFFIC CONTROL, INCLUDING STRIPING AND REQUIRED SIGNAGE, SHALL BE INSTALLED WITHIN ONE (1) WEEK OF THE INSTALLATION OF THE 'FIRST LIFT' OF PAVING.

ALL SIGHT LINES SHALL BE DESIGNED AND BE MAINTAINABLE PER TOWN OF GILBERT STANDARD DETAILS 92 AND 93.

A TRAFFIC CONTROL PLAN SHALL BE SUBMITTED TO THE TOWN TRAFFIC ENGINEER 48 HOURS PRIOR TO PERFORMING ANY WORK IN THE TRAVELED RIGHT-OF-WAY.

THE CONTRACTOR SHALL ADHERE TO ALL THE TOWN OF GILBERT ORDINANCES FOR TRAFFIC CONTROL.

TOWN OF GILBERT IRRIGATION NOTES

CONTRACTOR SHALL NOT VARY SUBSTANTIALLY FROM PLAN WITHOUT PRIOR ENGINEER OR LANDSCAPE ARCHITECT APPROVAL. THE CONTRACTOR SHALL MAKE NECESSARY IN-FIELD ADJUSTMENTS TO AVOID OBSTRUCTIONS OR COMPENSATE FOR DIFFERENCES BETWEEN THE SITE AND PLAN. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR REVISION OF MAJOR DEPARTURES FROM THE PLAN WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE.

CONTRACTOR SHALL PERFORM THE FOLLOWING:

- VISIT SITE AND VERIFY EXISTING GRADES, CONSTRUCTION AND CONDITIONS.
- VERIFY UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND MAKE ANY NOTIFICATIONS REQUIRED.
- NOTIFY LANDSCAPE ARCHITECT OF DISCREPANCIES BETWEEN PLAN AND FIELD.
- RESTORE DAMAGED EXISTING WORK TO THE SATISFACTION OF THE TOWN ENGINEER & LANDSCAPE ARCHITECT WITHOUT COST TO THE OWNER OR TOWN OF GILBERT.
- SATISFY THEMSELVES THAT THE PLAN CAN BE CONSTRUCTED, FUNCTIONAL AND SAFE FOR PUBLIC USE.

CONTRACTOR SHALL DETERMINE HIS OWN BIDDING QUANTITIES. ALL QUANTITIES SHOWN IN THESE PLANS ARE TO GIVE THE CONTRACTOR A COMPARISON COUNT ONLY.

ALL MATERIALS AND WORKMANSHIP SHALL BE TRUE TO TYPE, FORM, FINISH, AND OF THE HIGHEST STANDARDS OF THE TRADE. DAMAGED OR INFERIOR MATERIALS SHALL BE REMOVED FROM THE SITE WITHOUT DELAY.

THE IRRIGATION CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS.

ALL LANDSCAPING SHALL BE ADEQUATELY WATERED WHILE UNDER CONSTRUCTION.

INSTALL ALL EQUIPMENT AS PER MANUFACTURER'S SPECIFICATIONS AND AS PER TOWN OF GILBERT CODE.

ALL EQUIPMENT SHALL BE MAINTAINED WHILE UNDER CONSTRUCTION. MAINTENANCE INCLUDES: WATER SCHEDULING, REPLACEMENT OF DEFECTIVE OR DAMAGED EQUIPMENT, ADJUSTMENT AND READJUSTMENT OF HEADS AND OTHER EQUIPMENT.

CONTRACTOR SHALL ENSURE THE FOLLOWING:

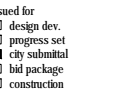
- TWO 2" SCH 40 PVC SLEEVES OR LARGER ARE PLACED UNDER WALKS, DRIVES, ETC. OFFSET SLEEVES TO AVOID OBSTRUCTIONS AND ALLOW REPLACEMENT OF PIPE. THE CONTRACTOR SHALL NOT SLEEVE GASKET FIT PIPE WITHOUT PRIOR APPROVAL. EXTEND PAST OBSTRUCTION 12" MIN.
- LINES AND VALVES ARE TO BE PLACED WITHIN PLANTING BEDS AND PROJECT LIMITS. SPECIFIC PIPE SIZES HAVE BEEN SHOWN ON THE PLANS AND SHALL BE ADHERED TO. AREAS HAVE BEEN SHOWN IN SCHEMATIC DIAGRAMS AND REQUIRE THE CONTRACTOR TO PROPERLY SIZE PIPE. MINIMUM SIZES ARE REPRESENTED ON THE PLAN.
- 100% COVERAGE OF IRRIGATION SYSTEM (55% DIAMETER OR CLOSER SPACING FOR TURF) TO ALL PLANTS REGARDLESS OF SIZE OR TYPE AND SHALL CONFORM ALL NON-IRRIGATED AREAS PRIOR TO SUBMITTING A BID.
- PROVIDE IRRIGATION MAINTENANCE AFTER ACCEPTANCE FOR THE PERIOD INDICATED IN THE LANDSCAPE SPECIFICATIONS OR NINETY (90) DAYS, WHICHEVER IS GREATER.

TOWN OF GILBERT RECLAIMED WATER NOTES:
RECLAIMED WATER PIPE, MARKING TAPE AND LOCATOR TAPE SHALL BE INSTALLED IN ACCORDANCE WITH M.A.G. SPEC. 616, AND THE LATEST EDITION OF THE TOWN OF GILBERT RECLAIMED WATER USERS MANUAL.

andersonbaron
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50 n. mcclintock dr., ste. 1
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Terraza
S. Recker Road and E. Ocotillo Road
Gilbert, AZ
General Notes



General Notes	
scale	02.25.2018
drawn by	N/A
checked by	AW
project number	JB
permit number	72-009-14

sheet number	BLD2015-02761
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LA0.1

sheet 2 of 11



KEYNOTES

- 1 DECOMPOSED GRANITE.
- 2 5'-0" CONCRETE SIDEWALK PER CIVIL PLAN.
- 3 RETAINING WALL PER CIVIL PLANS.
- 4 DRAINAGE STRUCTURE PER CIVIL PLANS.
- 5 RETENTION BASIN PER CIVIL PLANS.
- 6 PERIMETER FENCE AND GATE PER CIVIL ENGINEER.

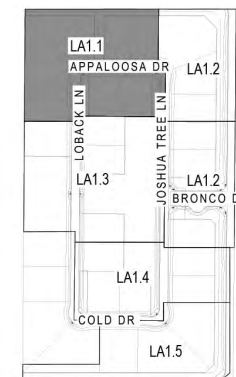
- 7 VEHICULAR GATE.
- 8 VEHICULAR GATE OPERATOR BY GATE INSTALLER.
- 9 KEY PAD AND KNOX BOX.
- 10 ENTRY SIGN WALL.
- 11 ENTRY ACCENT WALL.
- 12 STUCCO WALL.
- 13 VIEW FENCE.
- 14 20' x 20' SHADE STRUCTURE WITH PICNIC TABLE.

- 15 2 UNITS MAILBOX. (1 UNIT 13 BOX, 1 UNIT 16 BOX).
- 16 PLAY STRUCTURE.
- 17 WOOD MULCH.
- 18 TURF.
- 19 PET WASTE BAG DISPENSER.
- 20 TRASH RECEPTACLE.
- 21 BENCH.
- 22 GARDENS.

Plant Materials Legend

Trees	Size	Quantity
Chamerops humilis	24" Box	13
Mediocran Fan Palm	24" Box	12
Fraxinus velutina 'Rio Grande'	24" Box	64
Parkinsonia praecox	24" Box	90
Pistacia chinensis	24" Box	14
Chinese Pistache	24" Box	20
Prosopis hybrid	24" Box	77
Quercus virginiana	24" Box	
'Cathedral' Oak	Size	Quantity
Extra Large Shrubs	Size	Quantity
Bougainvillea 'Rosenka'	5 gal.	74
Bougainvillea	5 gal.	40
Caesalpinia pulcherrima	5 gal.	150
Red Bird of Paradise	15 gal.	15
Tecoma alata 'Orange Jubilee'	5 gal.	138
Orange Jubilee	15 gal.	42
Tecoma sp. 'Sparky'	5 gal.	42
Sparky	5 gal.	11
Vauquelinia californica	5 gal.	136
Arizona Rosewood	5 gal.	364
Large Shrubs	Size	Quantity
Calliandra californica	5 gal.	3
Red Fairy Duster	5 gal.	27
Cassia artemesoides 'Silver'	5 gal.	11
Silver Cassia	5 gal.	136
Leucophyllum langmaniae 'Lynn's Legacy'	5 gal.	155
Lynn's Legacy Sage	5 gal.	500
Leucophyllum langmaniae 'Rio Bravo'	5 gal.	193
Rio Bravo Sage	5 gal.	45
Simmondsia chinensis	5 gal.	42
Jocoba	5 gal.	
Medium Shrubs	Size	Quantity
Eremophila glabra spp. camosa	5 gal.	97
Winter Blaze	5 gal.	918
Eremophila hygrophana Blue Bells	5 gal.	114
Blue Bells	5 gal.	
Rosa sp.	5 gal.	
Rose	5 gal.	
Rosemarinus officinalis	5 gal.	
Rosemary	5 gal.	
Small Shrubs	Size	Quantity
Olea europaea 'Little Ollie'	5 gal.	67
Little Ollie Dwarf Olive	5 gal.	
Groundcovers	Size	Quantity
Callistemon species	1 gal.	97
'Little John' Bottlebrush	1 gal.	918
Eremophila prostrata	1 gal.	114
Outback Sunrise Eremophila	1 gal.	
Lantana montevidensis 'New Gold'	1 gal.	
Trailing Yellow Lantana	1 gal.	
Cacti/ Accents	Size	Quantity
Agave americana 'Marginata'	5 gal.	2
Century Plant	5 gal.	
Agave angustifolia 'variegata'	5 gal.	27
Variegated Agave	5 gal.	
Dasylium longissimum	5 gal.	11
Mexican Grass Tree	5 gal.	
Hesperaloe parviflora	3 gal.	136
'Brake Lights' Red Yucca	5 gal.	364
Muhlenbergia capillaris	5 gal.	
'Regal Mist'	5 gal.	
Vines	Size	Quantity
Bougainvillea 'Barbara Karst'	5 gal.	3
Bougainvillea	5 gal.	
Inerts	Size	Quantity
Decomposed Granite 1/2" Screened	124,980 s.f.	
Express Brown - See Detail x, Sheet LA7 x		
Hydroseed	53,886 s.f.	
'Black Jack' Bermuda Seed		
Concrete Header	6" Wide	979 l.f.
Standard Color and Finish		

GENERAL PLAN CLASSIFICATION	RESIDENTIAL 0 - 1 DU/AC
EXISTING ZONING	RU - 43
PROPOSED ZONING	SF 10 - PAD
LOT COVERAGE	45%
GROSS ACRES	18.1
NET ACRES	16.53
MINIMUM LOT SIZE	85' x 130' and 110' x 135'
NO. OF LOTS	29
GROSS DENSITY	1.61 DU/AC
OPEN SPACE AREA	3.65 AC
OFF SITE LANDSCAPE AREA	1.43 AC
OPEN SPACE PERCENTAGE	20.30%
TURF PROVIDED	1.15 AC



Key Map



Plant Materials Legend

Trees	Size	Quantity
Chamerops humilis	24" Box	13
Mediterranean Fan Palm	24" Box	12
Fraxinus velutina 'Rio Grande'	24" Box	64
Parkinsonia praecox	24" Box	90
Pistacia chinensis	24" Box	14
Pistacia lentiscus-multi-trunk	24" Box	20
Prosopis hybrid	24" Box	77
Quercus virginiana	24" Box	
Extra Large Shrubs	Size	Quantity
Bougainvillea 'Rosenka'	5 gal.	74
Bougainvillea	5 gal.	40
Caesalpinia pulcherrima	5 gal.	150
Red Bird of Paradise	5 gal.	15
Tecoma alata 'Orange Jubilee'	5 gal.	138
Orange Jubilee	5 gal.	15
Tecoma sp. 'Sparky'	5 gal.	138
Sparky	5 gal.	21
Vauquelinia californica	5 gal.	315
Arizona Rosewood	5 gal.	413
Large Shrubs	Size	Quantity
Calliandra californica	5 gal.	136
Red Fairy Duster	5 gal.	155
Cassia artemesoides 'Silver'	5 gal.	500
Silver Cassia	5 gal.	193
Leucophyllum langmaniae 'Lynn's Legacy'	5 gal.	45
Lynn's Legacy Sage	5 gal.	42
Leucophyllum langmaniae 'Rio Bravo'	5 gal.	67
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Simmondsia chinensis	5 gal.	918
Jocoba	5 gal.	114
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Winter Blaze	5 gal.	27
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Blue Bells	5 gal.	136
Rosa sp.	5 gal.	364
Rose	5 gal.	3
Rosemarinus officinalis	5 gal.	124,980 s.f.
Rosemary	5 gal.	53,886 s.f.
Small Shrubs	Size	Quantity
Olea europaea 'Little Olive'	5 gal.	979 l.f.
Little Olive Dwarf Olive	5 gal.	
Groundcovers	Size	Quantity
Callistemon species	1 gal.	
'Little John' Bottlebrush	1 gal.	
Eremophila prostrata	1 gal.	
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Lantana montevidensis 'New Gold'	1 gal.	
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Mexican Grass Tree	5 gal.	
Hesperaloe parviflora	3 gal.	
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Bougainvillea	5 gal.	
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Express Brown - See Detail x, Sheet LA7.x	53,886 s.f.	
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Concrete Header	6" Wide	979 l.f.
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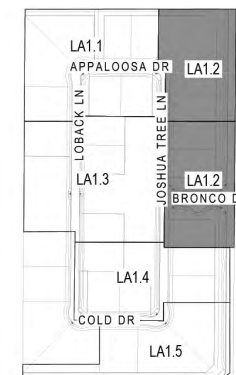
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- 5'-0" CONCRETE SIDEWALK PER CIVIL PLAN.
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Hydroseed	979 l.f.	
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Concrete Header	Standard Color and Finish	

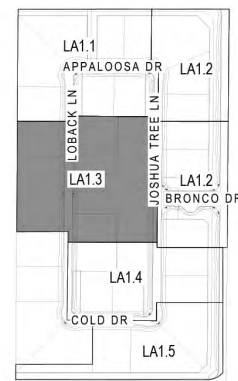
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- WOOD MULCH.
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Key Map





Terraza
S. Recker Road and E. Ocotillo Road
Gilbert, AZ
Planting Plan



revisions
1
2
3

issued for
☐ design dev.
☐ progress set
☒ city submittal
☐ bid package
☐ construction

title
Planting Plan

date issued
02.25.2018

scale
1" = 20'-0"

drawn by
AW

checked by
JB

project number
72-009-14

permit number
BLD2015-02761

sheet number
LA3.4

sheet 6 of 11

Plant Materials Legend

Trees	Size	Quantity
Chamerops humilis Mediteranean Fan Palm	24" Box	13
Fraxinus velutina 'Rio Grande' Fan-Tex Ash	24" Box	12
Parkinsonia praecox Palo Verde	24" Box	64
Pistacia chinensis Chinese Pistache	24" Box	90
Pistacia lentiscus-multi-trunk Mastic Tree	24" Box	14
Prosopis hybrid 'AZT' Mesquite	24" Box	20
Quercus virginiana 'Cathedral' Oak	24" Box	77
Extra Large Shrubs	Size	Quantity
Bougainvillea 'Rosenka' Bougainvillea	5 gal.	74
Caesalpinia pulcherrima Red Bird of Paradise	5 gal.	40
Tecoma alata 'Orange Jubilee' Orange Jubilee	15 gal.	150
Tecoma sp. 'Sparky' Sparky	5 gal.	15
Vauquelinia californica Arizona Rosewood	15 gal.	138
Large Shrubs	Size	Quantity
Calliandra californica Red Fairy Duster	5 gal.	21
Cassia artemesoides 'Silver' Silver Cassia	5 gal.	315
Leucophyllum langmaniae 'Lynn's Legacy' Lynn's Legacy Sage	5 gal.	413
Leucophyllum langmaniae 'Rio Bravo' Rio Bravo Sage	5 gal.	136
Simmondsia chinensis Jojoba	15 gal.	155
Medium Shrubs	Size	Quantity
Eremophila glabra spp. camosa Winter Blaze	5 gal.	500
Eremophila hydropaphana Blue Bells Blue Bells	5 gal.	193
Rosa sp. Rose	5 gal.	45
Rosmarinus officinalis Rosemary	5 gal.	42
Small Shrubs	Size	Quantity
Olea europaea 'Little Ollie' Little Ollie Dwarf Olive	5 gal.	67
Groundcovers	Size	Quantity
Callistemon species 'Little John' Bottlebrush	1 gal.	97
Eremophila prostrata Outback Sunrise Eremophila	1 gal.	918
Lantana montevidensis 'New Gold' Trailing Yellow Lantana	1 gal.	114
Cacti/ Accents	Size	Quantity
Agave americana 'Marginata' Century Plant	5 gal.	2
Agave angustifolia 'variegata' Variegated Agave	5 gal.	27
Dasylirois longissimum Mexican Grass Tree	5 gal.	11
Hesperaloe parviflora 'Brakelights' Red Yucca	3 gal.	136
Muhlenbergia capillaris 'Regal Mist'	5 gal.	364
Vines	Size	Quantity
Bougainvillea 'Barbara Karst' Bougainvillea	5 gal.	3
Inerts	Size	Quantity
Decomposed Granite 1/2" Screened Express Brown - See Detail x, Sheet LA7.x	124,980 s.f.	
Hydroseed 'Black Jack' Bermuda Seed	53,886 s.f.	
Concrete Header Standard Color and Finish	6" Wide	979 l.f.

GENERAL PLAN CLASSIFICATION
EXISTING ZONING
PROPOSED ZONING
LOT COVERAGE
GROSS ACRES
NET ACRES
MINIMUM LOT SIZE
NO. OF LOTS
GROSS DENSITY
OPEN SPACE AREA
OFF SITE LANDSCAPE AREA
OPEN SPACE PERCENTAGE
TURF PROVIDED

RESIDENTIAL 0 - 1 DU/AC
RU - 43
SF 10 - PAD
45%
18.1
16.53
85' x 130' and 110' x 135'
29
1.61 DU/AC
3.65 AC
1.43 AC
20.30%
1.15 AC

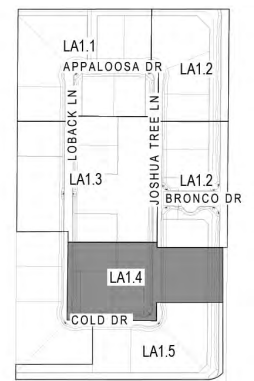


KEYNOTES

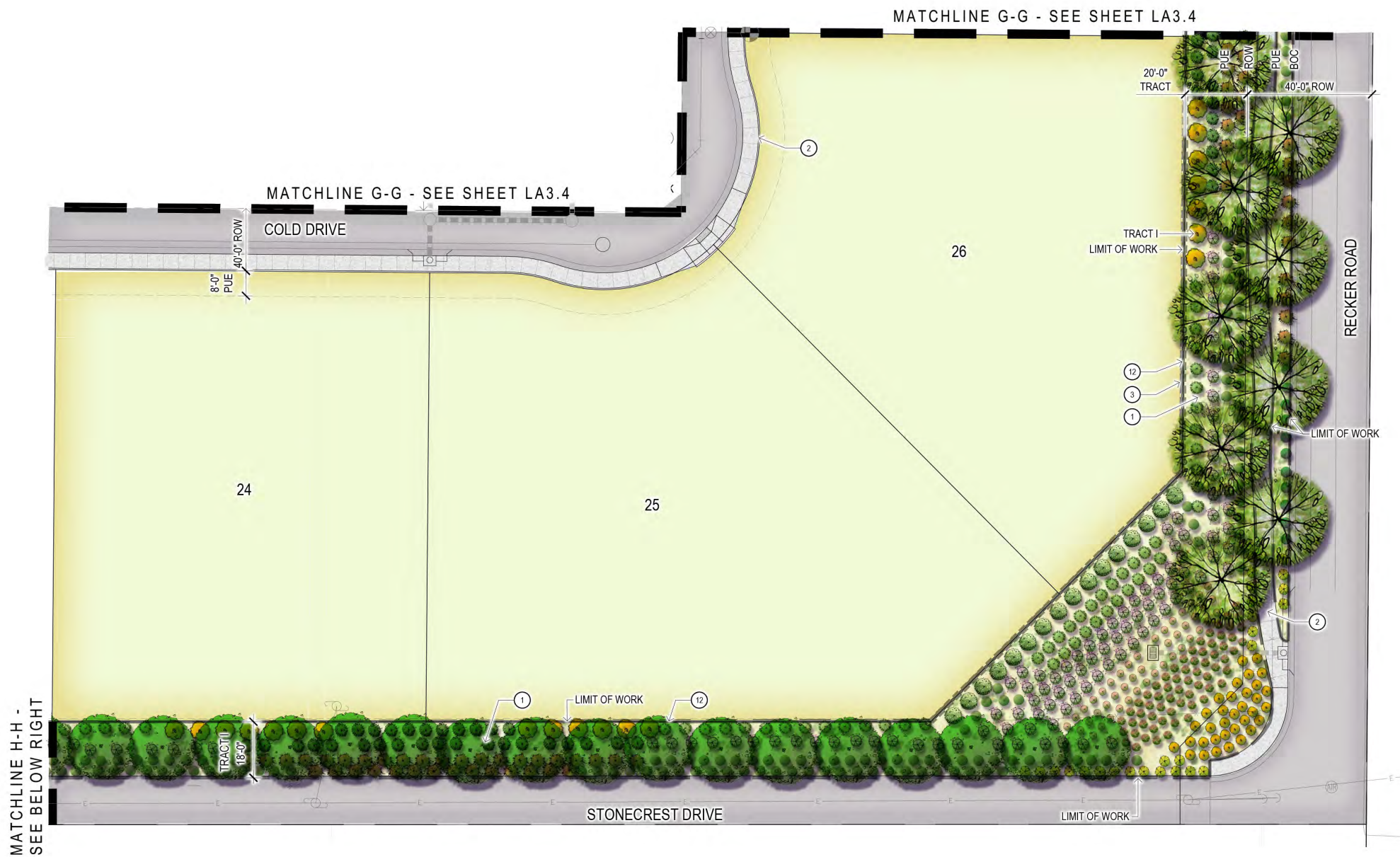
- 1 DECOMPOSED GRANITE.
- 2 5'-0" CONCRETE SIDEWALK PER CIVIL PLAN.
- 3 RETAINING WALL PER CIVIL PLANS.
- 4 DRAINAGE STRUCTURE PER CIVIL PLANS.
- 5 RETENTION BASIN PER CIVIL PLANS.
- 6 PERIMETER FENCE AND GATE PER CIVIL ENGINEER.
- 7 VEHICULAR GATE.
- 8 VEHICULAR GATE OPERATOR BY GATE INSTALLER.
- 9 KEY PAD AND KNOX BOX.
- 10 ENTRY SIGN WALL.
- 11 ENTRY ACCENT WALL.
- 12 STUCCO WALL.
- 13 VIEW FENCE.
- 14 20' x 20' SHADE STRUCTURE WITH PICNIC TABLE.
- 15 2 UNITS MAILBOX. (1 UNIT 13 BOX, 1 UNIT 16 BOX).
- 16 PLAY STRUCTURE.
- 17 WOOD MULCH.
- 18 TURF.
- 19 PET WASTE BAG DISPENSER.
- 20 TRASH RECEPTACLE.
- 21 BENCH.
- 22 GARDENS.



Key Map



Not To Scale



Plant Materials Legend

Trees	Size	Quantity
Chamerops humilis	24" Box	13
Mediterranean Fan Palm	24" Box	12
Fraxinus velutina 'Rio Grande'	24" Box	12
Fan-Tex Ash	24" Box	64
Parkinsonia praecox	24" Box	90
Palo Verde	24" Box	14
Pistacia chinensis	24" Box	20
Chinese Pistache	24" Box	77
Pistacia lentiscus-multi-trunk	24" Box	
Mastic Tree	24" Box	
Prosopis hybrid	24" Box	
'AZT' Mesquite	24" Box	
Quercus virginiana	24" Box	
'Cathedral' Oak	24" Box	
Extra Large Shrubs	Size	Quantity
Bougainvillea 'Rosenka'	5 gal.	74
Bougainvillea	5 gal.	40
Caesalpinia pulcherrima	5 gal.	150
Red Bird of Paradise	5 gal.	15
Tecoma alata 'Orange Jubilee'	5 gal.	138
Orange Jubilee	5 gal.	15
Tecoma sp. 'Sparky'	5 gal.	138
Sparky	5 gal.	15
Vauquelinia californica	5 gal.	138
Arizona Rosewood	5 gal.	138
Large Shrubs	Size	Quantity
Calliandra californica	5 gal.	21
Red Fairy Duster	5 gal.	315
Cassia artemesoides 'Silver'	5 gal.	413
Silver Cassia	5 gal.	136
Leucophyllum langmaniae 'Lynn's Legacy'	5 gal.	155
Lynn's Legacy Sage	5 gal.	500
Leucophyllum langmaniae 'Rio Bravo'	5 gal.	193
Rio Bravo Sage	5 gal.	45
Simmondsia chinensis	5 gal.	42
Jacoba	5 gal.	27
Medium Shrubs	Size	Quantity
Eremophila glabra spp. camosa	5 gal.	11
Winter Blaze	5 gal.	136
Eremophila hygrophana Blue Bells	5 gal.	364
Blue Bells	5 gal.	3
Rosa sp.	5 gal.	124,980 s.f.
Rose	5 gal.	53,886 s.f.
Rosemarinus officinalis	5 gal.	979 l.f.
Rosemary	5 gal.	
Small Shrubs	Size	Quantity
Olea europaea 'Little Olive'	5 gal.	67
Little Olive Dwarf Olive	5 gal.	97
Groundcovers	Size	Quantity
Callisolemon species	1 gal.	918
'Little John' Bottlebrush	1 gal.	114
Eremophila prostrata	1 gal.	
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Century Plant	5 gal.	27
Agave angustifolia 'variegata'	5 gal.	11
Variegated Agave	5 gal.	136
Dasyliodon longissimum	5 gal.	364
Mexican Grass Tree	5 gal.	3
Hesperaloe parviflora	5 gal.	124,980 s.f.
'Brake Lights' Red Yucca	5 gal.	53,886 s.f.
Muhlenbergia capillaris	5 gal.	979 l.f.
'Regal Mist'	5 gal.	
Vines	Size	Quantity
Bougainvillea 'Barbara Karst'	5 gal.	3
Bougainvillea	5 gal.	
Inerts	Size	Quantity
Decomposed Granite 1/2" Screened	124,980 s.f.	
Express Brown - See Detail x, Sheet LA7 x	53,886 s.f.	
Hydroseed	979 l.f.	
'Black Jack' Bermuda Seed		
Concrete Header	6" Wide	979 l.f.
Standard Color and Finish		

GENERAL PLAN CLASSIFICATION	RESIDENTIAL 0 - 1 DU/AC
EXISTING ZONING	RU - 43
PROPOSED ZONING	SF 10 - PAD
LOT COVERAGE	45%
GROSS ACRES	18.1
NET ACRES	16.53
MINIMUM LOT SIZE	85' x 130' and 110' x 135'
NO. OF LOTS	29
GROSS DENSITY	1.61 DU/AC
OPEN SPACE AREA	3.65 AC
OFF SITE LANDSCAPE AREA	1.43 AC
OPEN SPACE PERCENTAGE	20.30%
TURF PROVIDED	1.15 AC

KEYNOTES

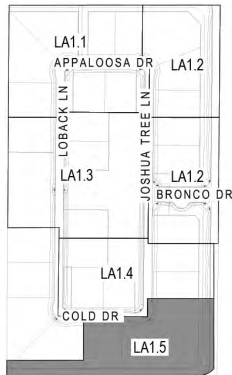
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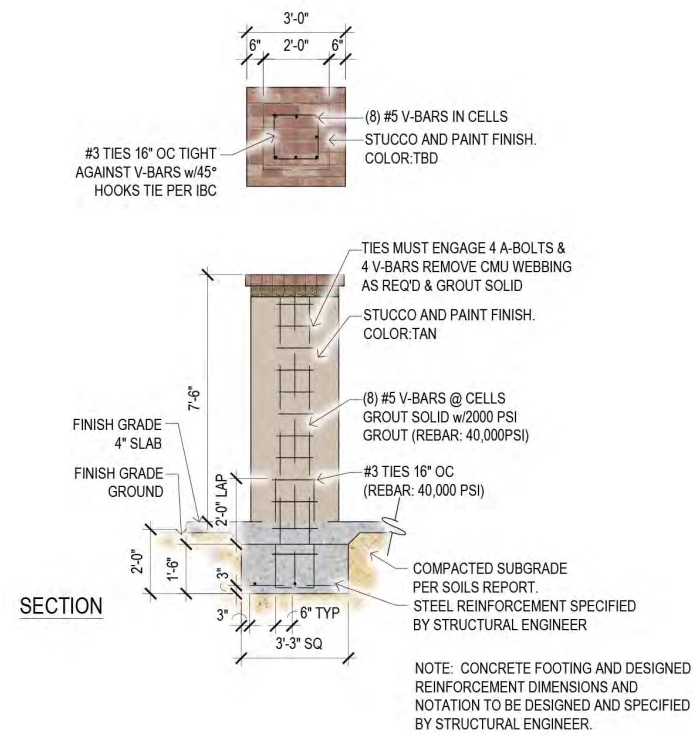
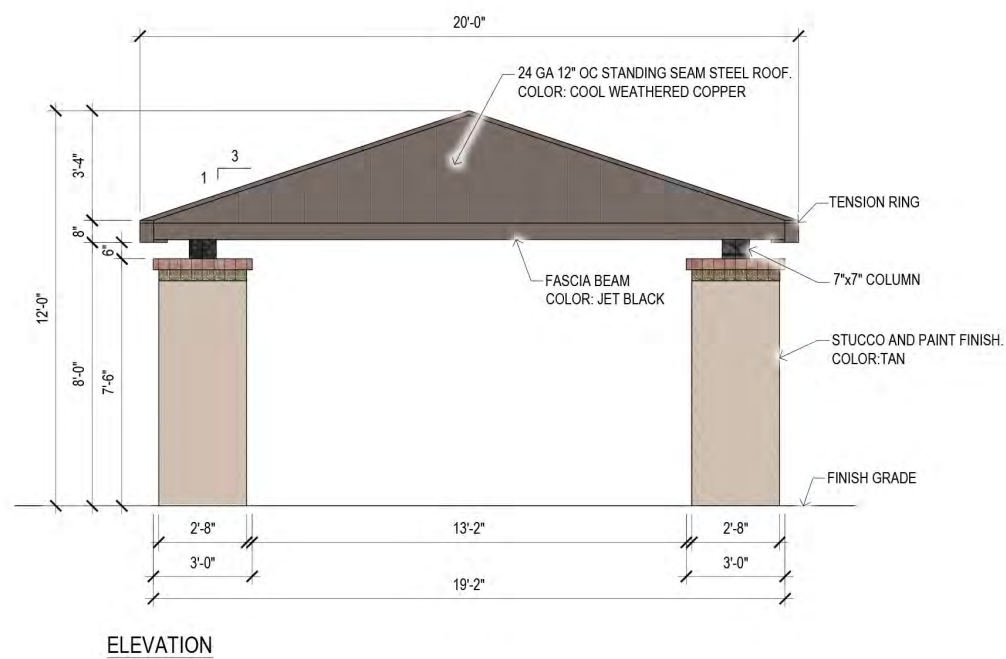
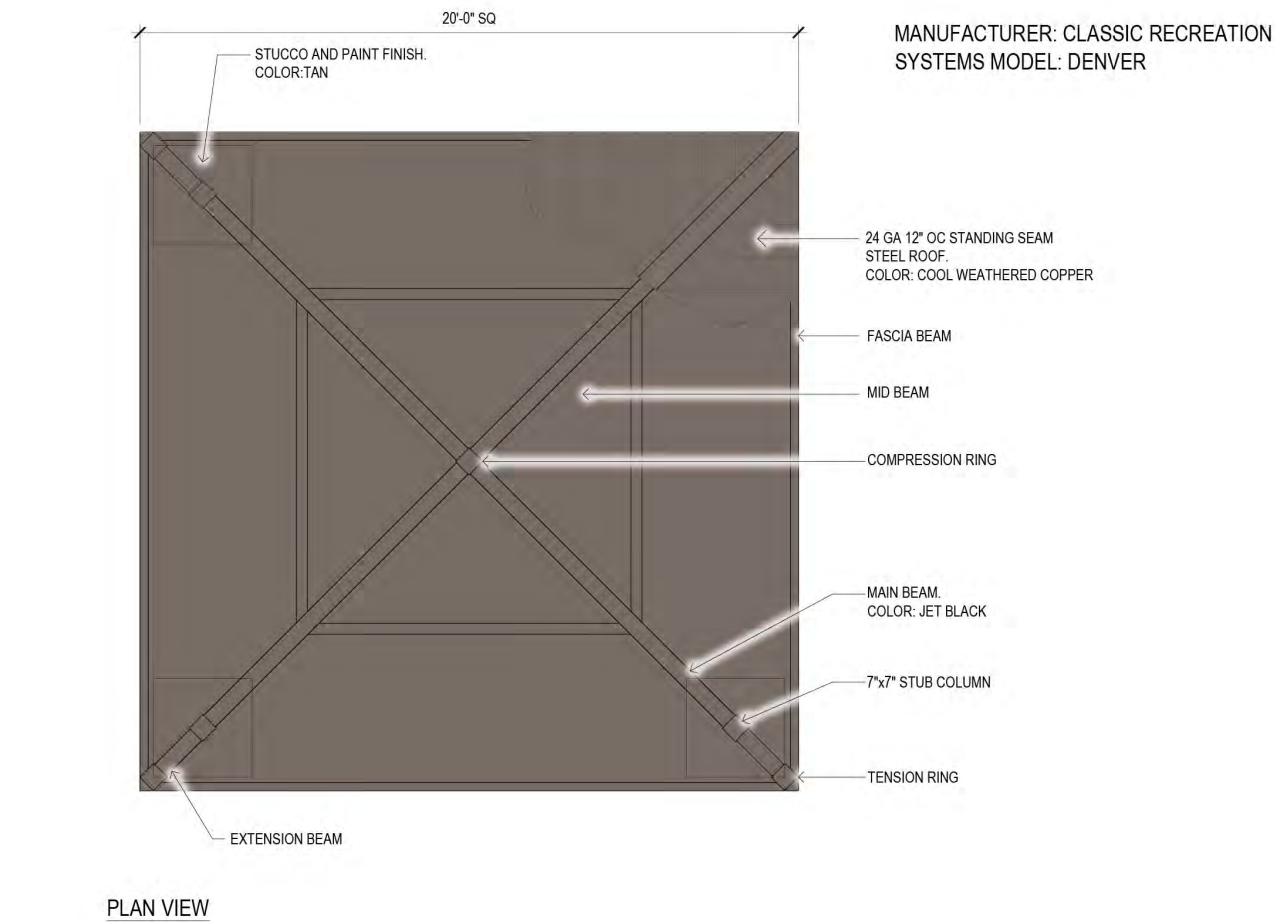
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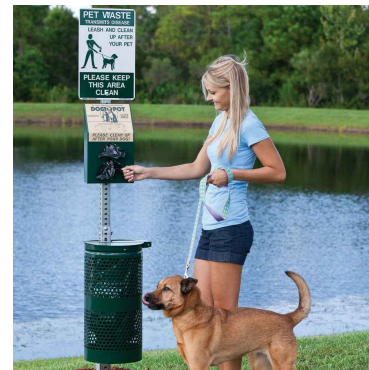
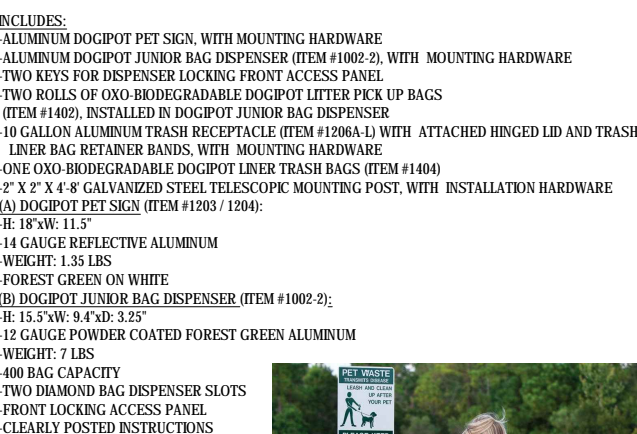
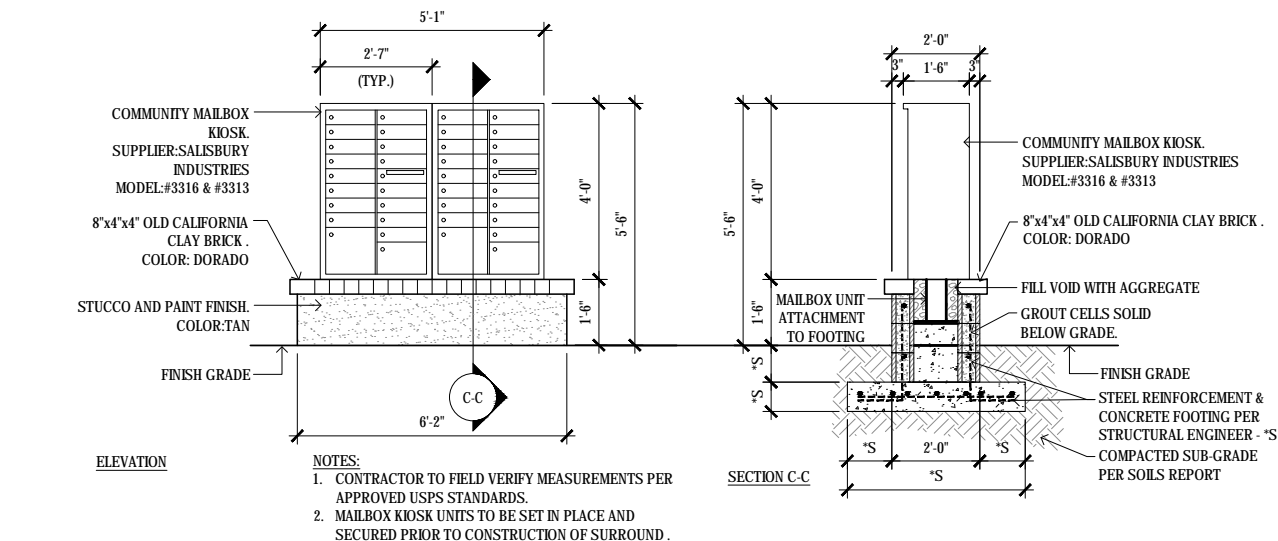
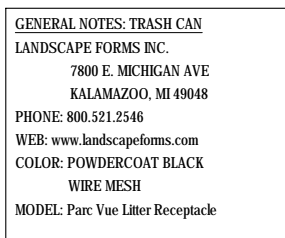
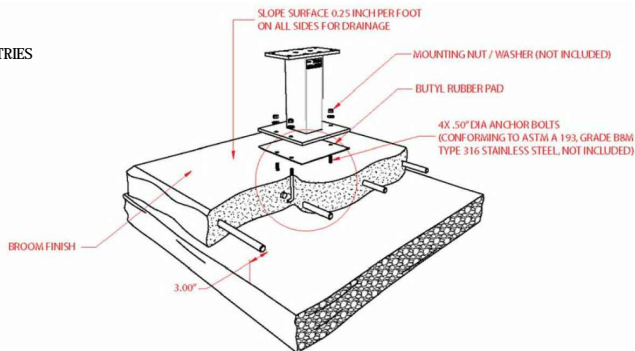
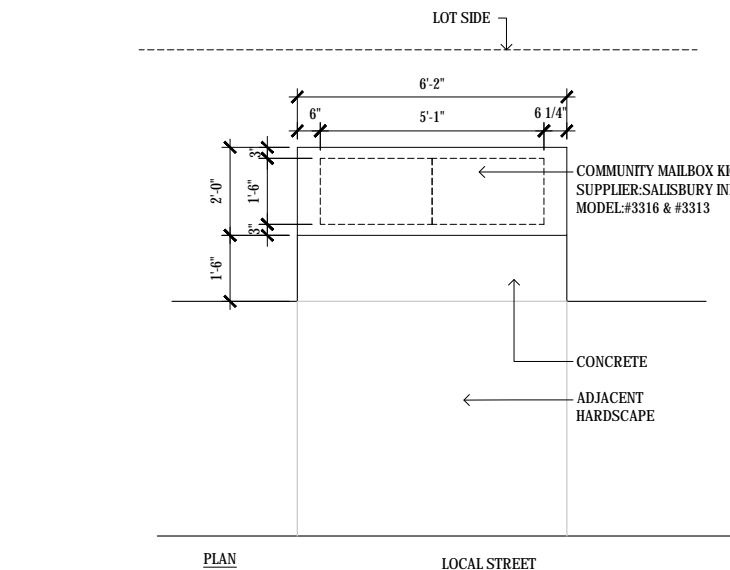
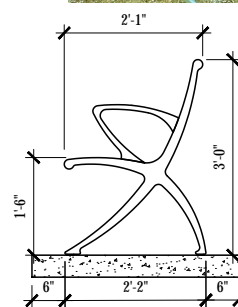
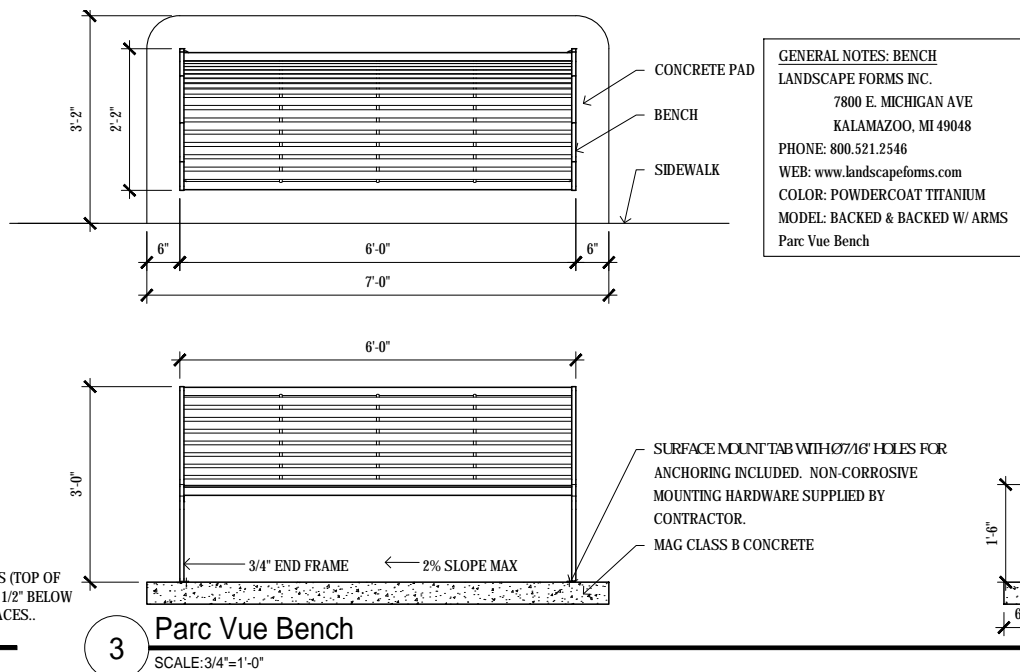
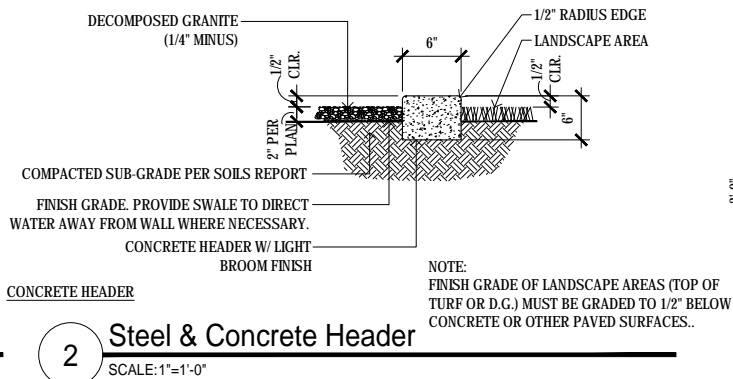
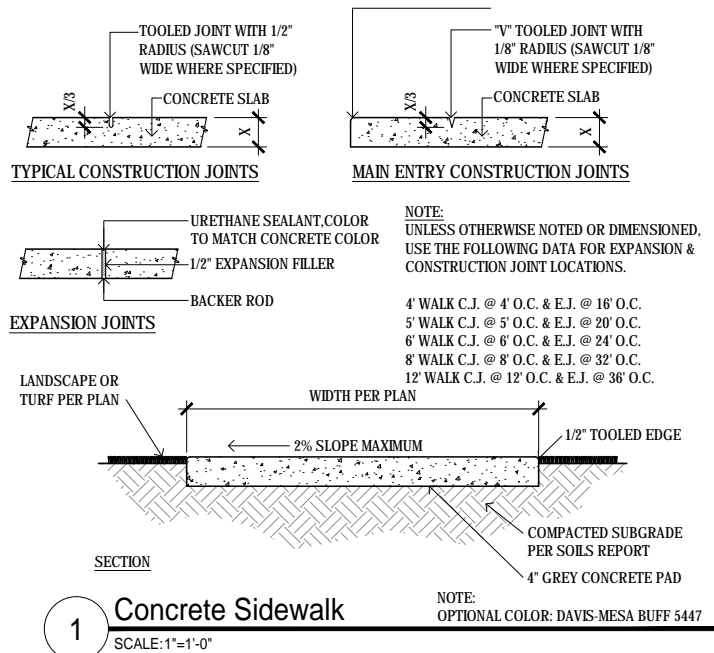
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Key Map







MANUFACTURER: DOGIPOT

- NOTES:**
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - DO NOT SCALE DRAWING.
 - THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
 - ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
 - CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER 2635-004.
 - USE THIS WASTE STATION BETWEEN PODS 3-4 & 4-1.

